

SURVEYOR'S ACKNOWLEDGMENT

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, AND IS TO THE ACCURACY AND SPECIFICATION REQUIRED BY THE COBB COUNTY SUBDIVISION REGULATIONS.

REGISTERED GA. LAND SURVEYOR *J. Chris Whitley*
 PRINT NAME J. CHRIS WHITLEY

OWNER'S ACKNOWLEDGMENT

I HEREBY CERTIFY AS THE OWNER OF THE LAND SHOWN ON THIS PLAN (OR A DULY AUTHORIZED AGENT THEREOF) WHOSE NAME IS SUBSCRIBED HERETO, I ACKNOWLEDGE THAT THIS PLAN WAS MADE FROM AN ACTUAL SURVEY, AND FOR VALUE RECEIVED THE SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DO HEREBY CONVEY THE PRIVATE ROADWAYS AND UTILITY EASEMENTS TO THE ASSOCIATION NAMED ON THIS PLAN FOR ITS MAINTENANCE AND UPKEEP AND THE PURPOSES AND CONSIDERATIONS HEREIN EXPRESSED. IN CONSIDERATION OF THE APPROVAL OF THIS DEVELOPMENT PLAN AND OTHER VALUABLE CONSIDERATIONS, I FURTHER RELEASE AND HOLD HARMLESS COBB COUNTY FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING, ON THE ACCOUNT OF THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROPERTY SHOWN HEREON; ON ACCOUNT OF THE ROADS, LACK OF ACCESS, FILLS, EMBANKMENTS, DITCHES, CROSS DRAINS, CULVERTS, WATER MAINS, SEWER LINES, AND BRIDGES WITHIN THE PROPOSED PRIVATE ROADWAYS AND EASEMENTS SHOWN; AND ON ACCOUNT OF BACKWATER, THE COLLECTION AND DISCHARGE OF SURFACE WATER, OR THE CHANGING OF COURSES OF STREAMS.

AND FURTHER, I WARRANT THAT I OWN FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREE THAT COBB COUNTY SHALL NOT BE LIABLE TO ME, MY HEIRS, SUCCESSORS OR ASSIGNS FOR ANY CLAIMS OR DAMAGES RESULTING FROM THE CONSTRUCTION OR MAINTENANCE OF CROSS DRAIN EXTENSIONS, DRIVES, STRUCTURES, STREET, CULVERTS, CURBS, OR SIDEWALK, THE CHANGING COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, SURFACE WATERS AND ANY OTHER MATTER WHATSOEVER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO SELL AND CONVEY THE LAND ACCORDING TO THIS PLAN AND DO HEREBY BIND OWNERS AND MYSELF SUBSEQUENT IN TITLE TO DEFEND BY VIRTUE OF THESE PRESENTS.

JWC Rivers Call, LLC
 By: *Paul Morgan* 9/21/16
 SIGNATURE PRINTED NAME DATE

COUNTY CERTIFICATION

THIS PLAN, HAVING BEEN SUBMITTED TO COBB COUNTY AND HAVING BEEN FOUND TO COMPLY WITH THE COBB COUNTY DEVELOPMENT STANDARDS AND THE COBB COUNTY ZONING ORDINANCE, IS APPROVED SUBJECT TO THE INSTALLATION AND DEDICATION OF ALL STREETS, UTILITIES, EASEMENTS AND OTHER IMPROVEMENTS IN ACCORDANCE WITH THE STANDARD DESIGN SPECIFICATIONS AND THE POSTING OF A ONE YEAR MAINTENANCE SECURITY.

Brian Huddy 9/22/16
 COBB COUNTY WATER SYSTEM DATE
Ben 9-29-16
 ZONING DIVISION DATE
Ben 10-9-16
 DEVELOPMENT & INSPECTIONS DIVISION DATE
Tom
 COBB COUNTY BOARD OF COMMISSIONERS DATE

PRIVATE COVENANTS STATEMENT

THIS PLAN IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) DATED _____, WHICH HEREBY BECOMES A PART OF THIS PLAN, RECORDED IN DEED BOOK _____, PAGE _____, COBB COUNTY DEED RECORDS.

OWNER'S SIGNATURE DATE

UTILITIES NOTES

1. THE SEWER SYSTEM ON THIS PLAN THAT IS NOT LOCATED IN AN EASEMENT DEDICATED TO COBB COUNTY IS PRIVATELY OWNED. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF THE PRIVATELY OWNED SEWER SYSTEM.
2. THE WATER SYSTEM ON THIS PLAN IS PRIVATELY OWNED. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF THE PRIVATELY OWNED WATER SYSTEM. THE PRIVATELY OWNED WATER SYSTEM APPEARS TO MEET THE FEDERAL SAFE DRINKING WATER ACT DEFINITION OF A "PUBLIC WATER SYSTEM"; THEREFORE, IN THE FUTURE, THE OWNER MAY BE SUBJECT TO THE GEORGIA RULES OF SAFE DRINKING WATER 391-3-5.
3. NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN TEN (10') FEET OF THE EDGE OF PERMANENT COBB COUNTY WATER OR SANITARY EASEMENTS ON FRONT OR REAR SETBACKS, OR WITHIN TWO (2') FEET ON SIDE SETBACKS, PER COUNTY CODE 122-12.3.

LOT AREA CHART

LOT #	AREA (SQ. FT.)	AREA (AC.)
1	1,496.31	0.034
2	1,496.31	0.034
3	1,496.31	0.034
4	1,496.31	0.034
5	1,496.31	0.034
6	1,496.31	0.034
7	1,496.31	0.034
8	1,496.31	0.034
9	1,496.31	0.034
10	1,496.31	0.034
11	1,496.31	0.034
12	1,496.31	0.034
13	1,496.31	0.034
14	1,496.31	0.034
15	1,496.31	0.034
16	1,496.31	0.034
17	1,496.31	0.034
18	1,496.31	0.034
19	1,496.31	0.034
20	1,496.31	0.034
21	1,496.31	0.034
22	1,496.31	0.034
23	1,496.31	0.034
24	1,496.31	0.034
25	1,496.31	0.034
26	1,496.31	0.034
27	1,496.31	0.034
28	1,496.31	0.034
29	1,496.31	0.034
30	1,496.31	0.034
31	1,496.31	0.034
32	1,496.31	0.034
33	1,496.31	0.034
34	1,496.31	0.034
35	1,496.31	0.034
36	1,496.31	0.034
37	1,496.31	0.034
38	1,496.31	0.034
39	1,496.31	0.034
40	1,496.31	0.034
41	1,496.31	0.034
42	1,496.31	0.034
43	1,496.31	0.034
44	1,496.31	0.034

FINAL PLAT FOR
ABBINGTON AT WILDWOOD
 4205 ABBINGTON RIVER LANE SE
 COBB COUNTY, GEORGIA

LAND LOTS 1005 & 1006
 17TH DISTRICT, 2ND SECTION
 PARCEL ID #17100500300

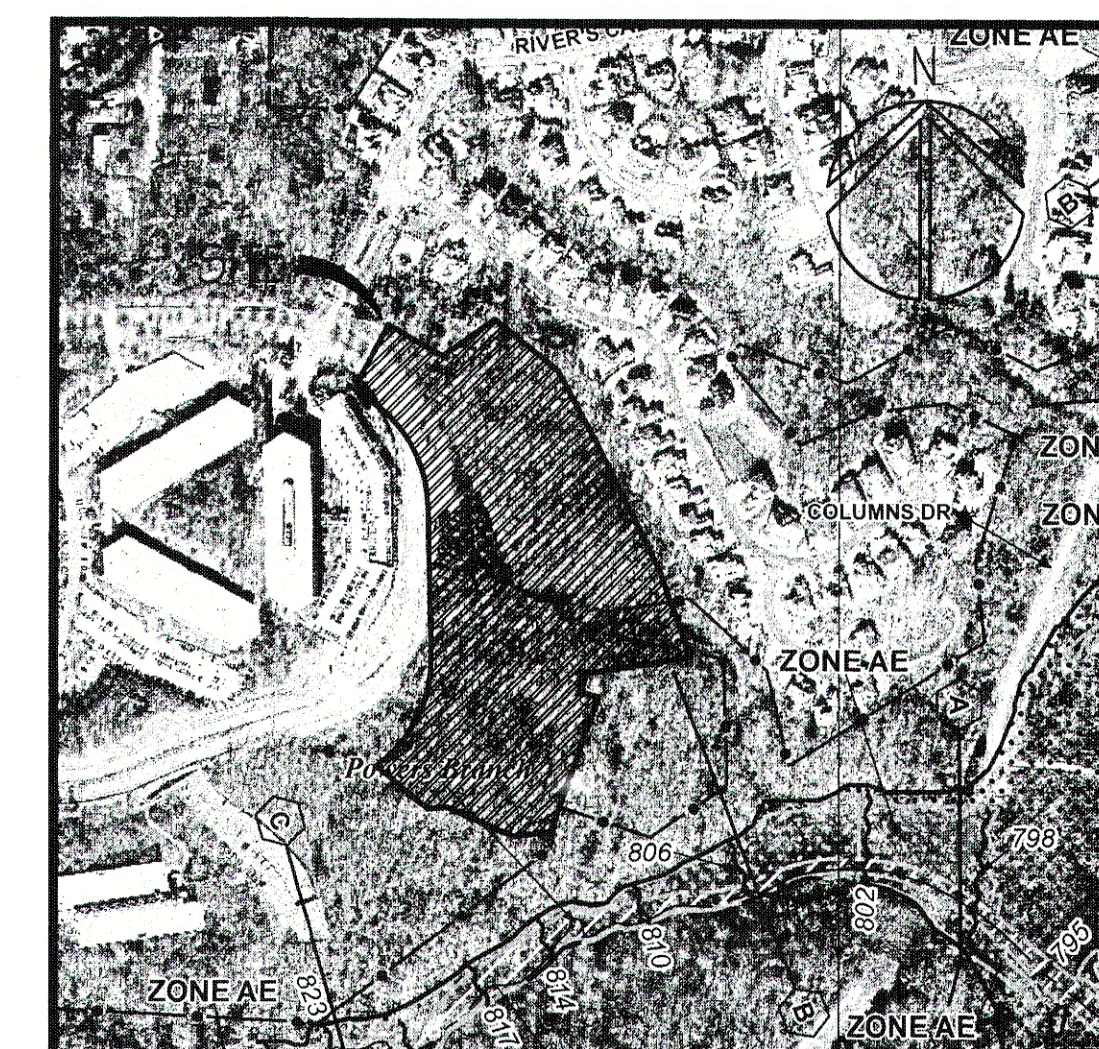
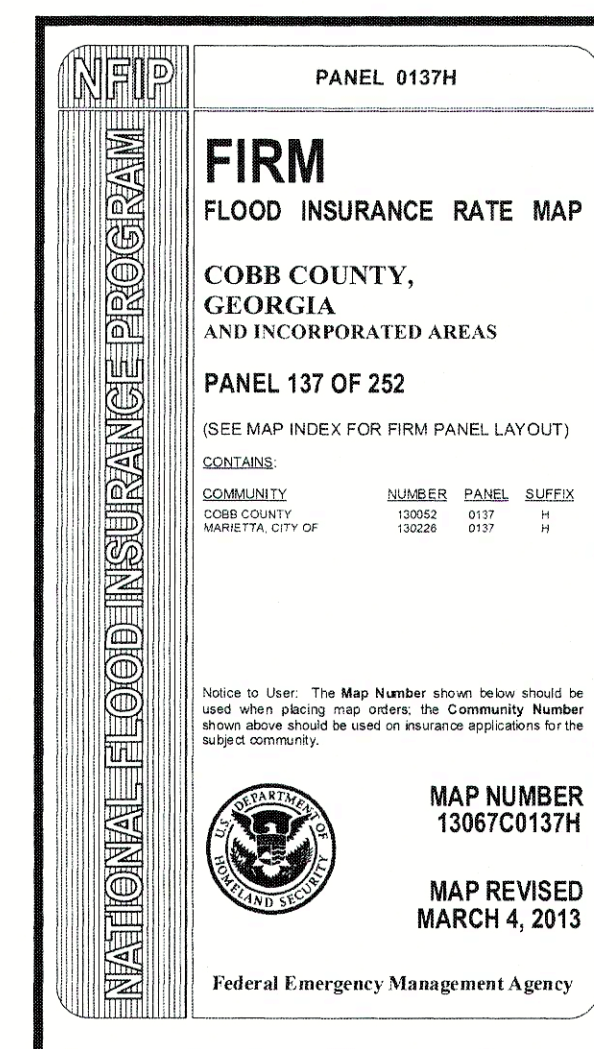
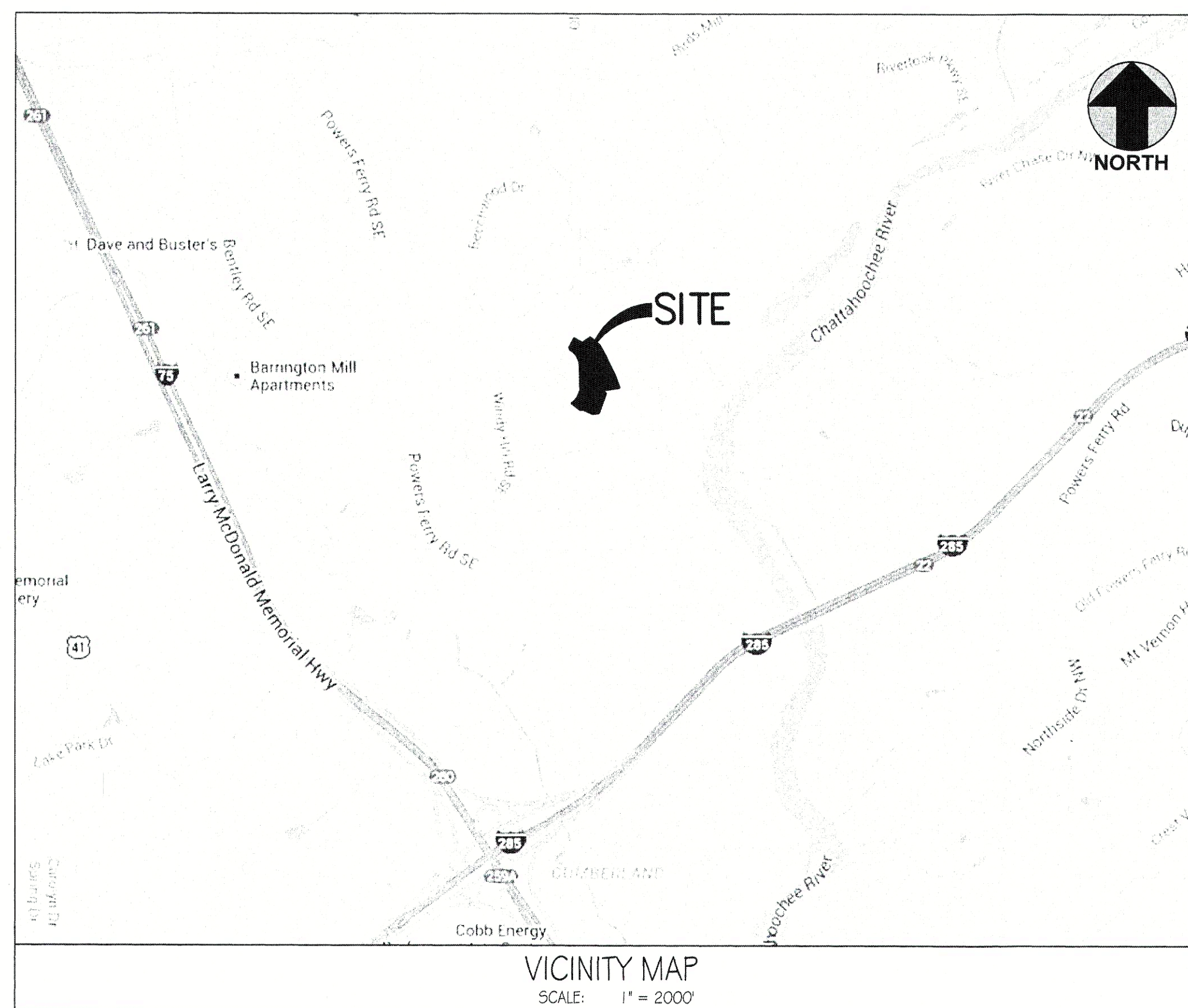
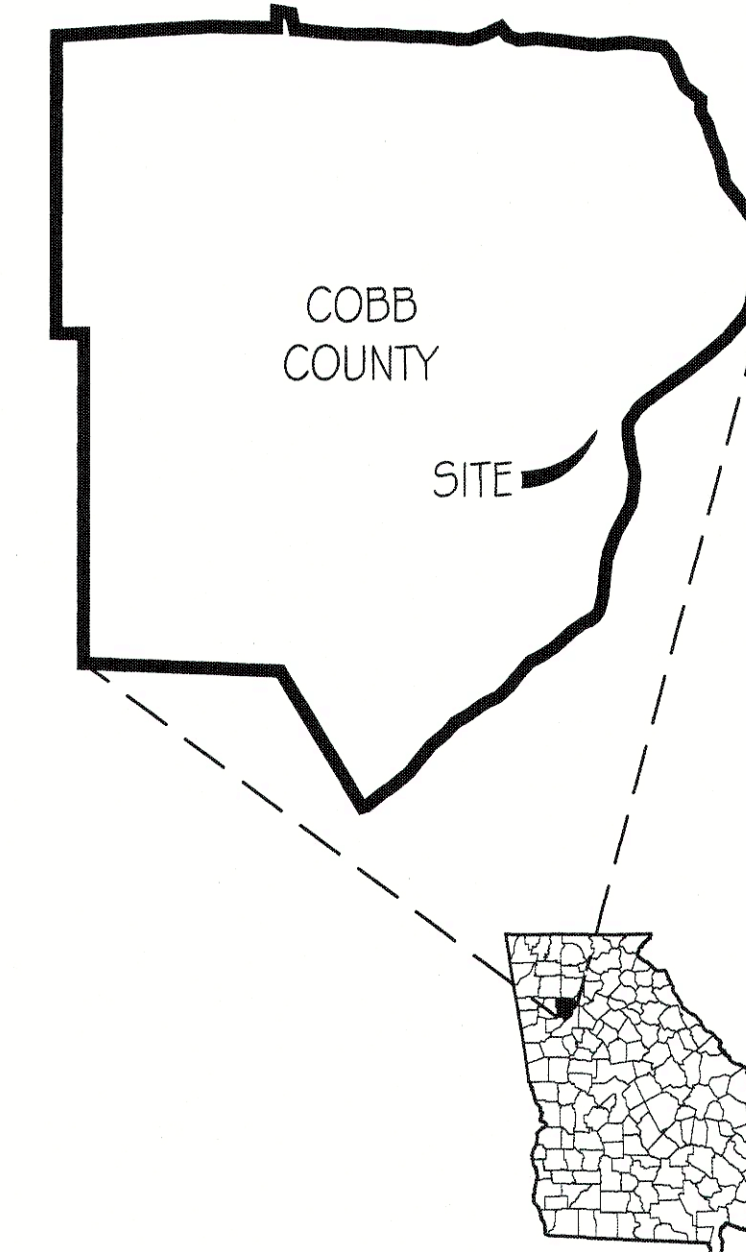
SPR-2015-00088
 ZONING: RM-8
 ZONING CASE Z-84

Plot Book 276 Pg 55
 Filed and Recorded Oct-12-2016 11:19am
 2016-0123635
Rebecca Keaton
 Rebecca Keaton
 Clerk of Superior Court Cobb Cty. Ga.

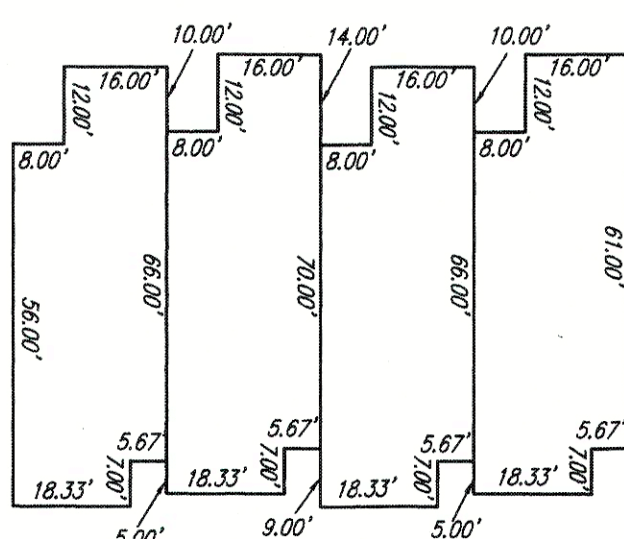
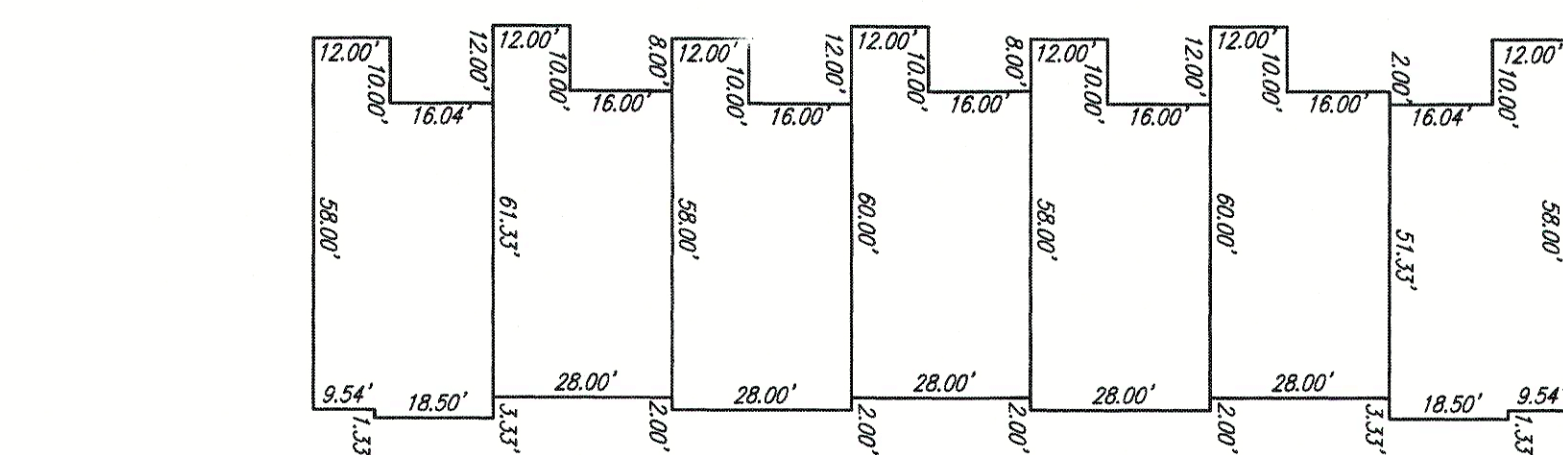
- SITE DATA:**
 TOTAL SITE AREA = 19.225 ACRES
 ZONING = RM8
 REZONING CASE = Z-84 APPROVED NOVEMBER 18, 2014
 UNITS: TOWNHOMES = 44 UNITS
 SITE DENSITY: = 2.41 UNITS PER ACRE
- SETBACKS:**
 FRONT = 50' (FROM WILDWOOD PARKWAY)
 SIDE = 25' (PERIMETER)
 REAR = 40' (PERIMETER)
- BUFFERS:**
 LANDSCAPE BUFFER = 15' ALONG WILDWOOD PARKWAY
 UNDISTURBED BUFFER = 15' ALONG RIVERS CALL SUBDIVISION
 LANDSCAPE BUFFER = 20' ALONG RIVERS CALL SUBDIVISION
- BUILDING SEPARATION:**
 FRONT TO FRONT = 30'
 SIDE TO SIDE = 20'

NOTES

1. BOUNDARY INFORMATION IS FROM AN ALTA SURVEY BY WATTS AND BROWNING ENGINEERS, INC., DATED 12/4/14.
2. NO CEMETERIES, ARCHEOLOGICAL OR ARCHITECTURAL LANDMARKS ARE KNOWN TO EXIST ON THIS SITE.
3. STATE LAW PROHIBITS THE PRIVATE CONSTRUCTION, PLANTING, OR OTHERWISE MAKING IMPROVEMENTS ON THE DEDICATED RIGHT-OF-WAY. THE SOLE RESPONSIBILITY FOR REPAIRING ANY DAMAGE OF ANY SUCH IMPROVEMENTS SHALL BE THE PROPERTY OWNERS.
4. PERPETUAL CARE AND MAINTENANCE AND THE CONVEYANCE OF REAL PROPERTY REFERENCED IN SECTION 205 OF THE COBB COUNTY DEVELOPMENT STANDARDS AND SPECIFICATIONS WILL BECOME EFFECTIVE AT THE COMPLETION OF THE FINAL ACCEPTANCE PROCESS.
5. ALL STORMWATER INFRASTRUCTURES ON THIS SITE ARE PRIVATELY OWNED, AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S RESPONSIBILITY.
6. ALL STORMWATER INFRASTRUCTURES SHOWN ON THIS PLAN ARE THE SAME AS ARE SHOWN ON THE AS-BUILT DRAWINGS SUBMITTED TO COBB COUNTY STORMWATER MANAGEMENT.
7. ALL GATES SHALL BE EQUIPPED WITH A KNOX SWITCH FROM KNOXBOX.COM AND SHALL BE PROGRAMMED TO OPEN ALL GATES SIMULTANEOUSLY.
8. FIRE LANE SIGN SHALL BE LOCATED AT THE END OF THE DEAD-END FIRE ACCESS ROADWAY.



FLOOD PLAN NOTE:
 NO PART OF THIS PROJECT LIES WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) PER FEMA FIRM PANEL 13067C0137H DATED MARCH 4, 2013.



TYPICAL UNIT DIMENSIONS
 SCALE: 1"=30'

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This plan was prepared for the exclusive use of the person, persons, or entity named hereon. This plan does not extend to any unnamed person, persons, or entity without the express recertification of the surveyor naming such person, persons, or entity.

ENGINEER/SURVEYOR:

McFARLAND-DYER & ASSOCIATES, INC.
 4174 SILVER PEAK PARKWAY
 SUWANEE, GEORGIA 30024
 Ph: 770-932-6550 Fx: 770-932-6551
 ENGINEERING CONTACT: KEVIN WHIGHAM, P.E. EMAIL: KWhigham@GoMDA.net
 SURVEYING CONTACT: CHRIS WHITLEY, RLS EMAIL: CWhitley@GoMDA.net

OWNER/DEVELOPER/PRIMARY PERMITEE:

JWC RIVERS CALL, LLC
 2355 LOG CABIN DRIVE
 ATLANTA, GA 30339
 CONTACT: MR. BRIAN MCBRIDE
 PHONE: 770-609-6013
 EMAIL: bmcbride@c-enterprises.com

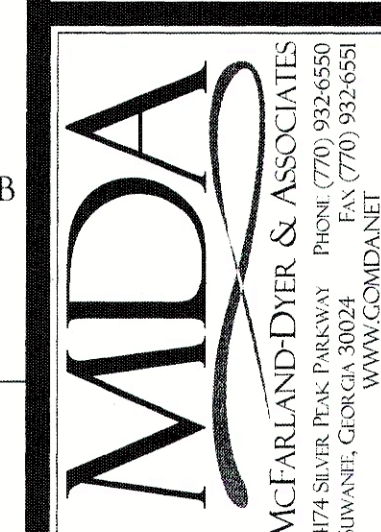
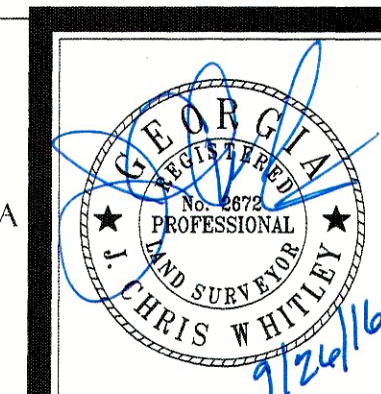
PARKING:

NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT EXCEPT IN DESIGNATED SPACES

F/S FIRE ACCESS LANES:

AS A REQUESTED EQUIVALENCE TO ADEQUATE FIRE DEPARTMENT ACCESS WITHIN 150' OF ALL PORTIONS OF THE BUILDING(S), EACH UNIT WILL BE EQUIPPED WITH A NFPA 13R FIRE SPRINKLER SYSTEM INCLUDING SPRINKLER COVERAGE OF THE GARAGES, BALCONIES, PATIOS, AND ANY OUTSIDE STORAGE CLOSET. EACH UNIT MUST BE EQUIPPED WITH A SEPARATE WATER SUPPLY AND SPRINKLER RISER.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-8-67. AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-4, 43-15-6, 43-15-19, 43-15-22.



THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 8854 FEET AND AN ANGULAR ERROR OF ONE SECOND OF AN ARC. THIS PLAN HAS BEEN CALCULATED FOR US SURVEY AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 8854 FEET. A TABLE OF RECTANGULAR TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAN.
 -FIELD DATA WAS OBTAINED ON 01/14/2016.

DESCRIPTION	DATE
FINAL PLAT	09/08/2016

DSR NO: 141002
 DRAWN BY: JH
 CHECKED BY: MP
 SURVEYED BY: TW

COPYRIGHT 2016
 McFARLAND-DYER & ASSOCIATES, INC.

FINAL PLAT FOR:
ABBINGTON AT WILDWOOD
 LL 1005 & 1006 17TH DISTRICT
 2ND SECTION
 COBB COUNTY, GEORGIA

FINAL PLAT
 SHEET 1 OF 4

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LEGEND

- UTILITY POLE (PP)
- GUY WIRE
- LIGHT POLE (LP)
- FLAG POLE (FP)
- FIRE HYDRANT (FH)
- SIGN
- JUNCTION BOX (JB)
- DROP INLET (DI)
- WATER VALVE (WV)
- ROOF DRAIN (RD)
- CLEAN OUT (CO)
- WATER METER (WM)
- SANITARY MANHOLE
- IRON PIN FOUND
- CONCRETE
- WALL
- HEAD WALL (HW)
- FENCE LINE
- TREE LINE
- HANDICAP RAMP
- CURB AND GUTTER
- FIRE SPRINKLER SYSTEM REQUIRED

ABBREVIATIONS

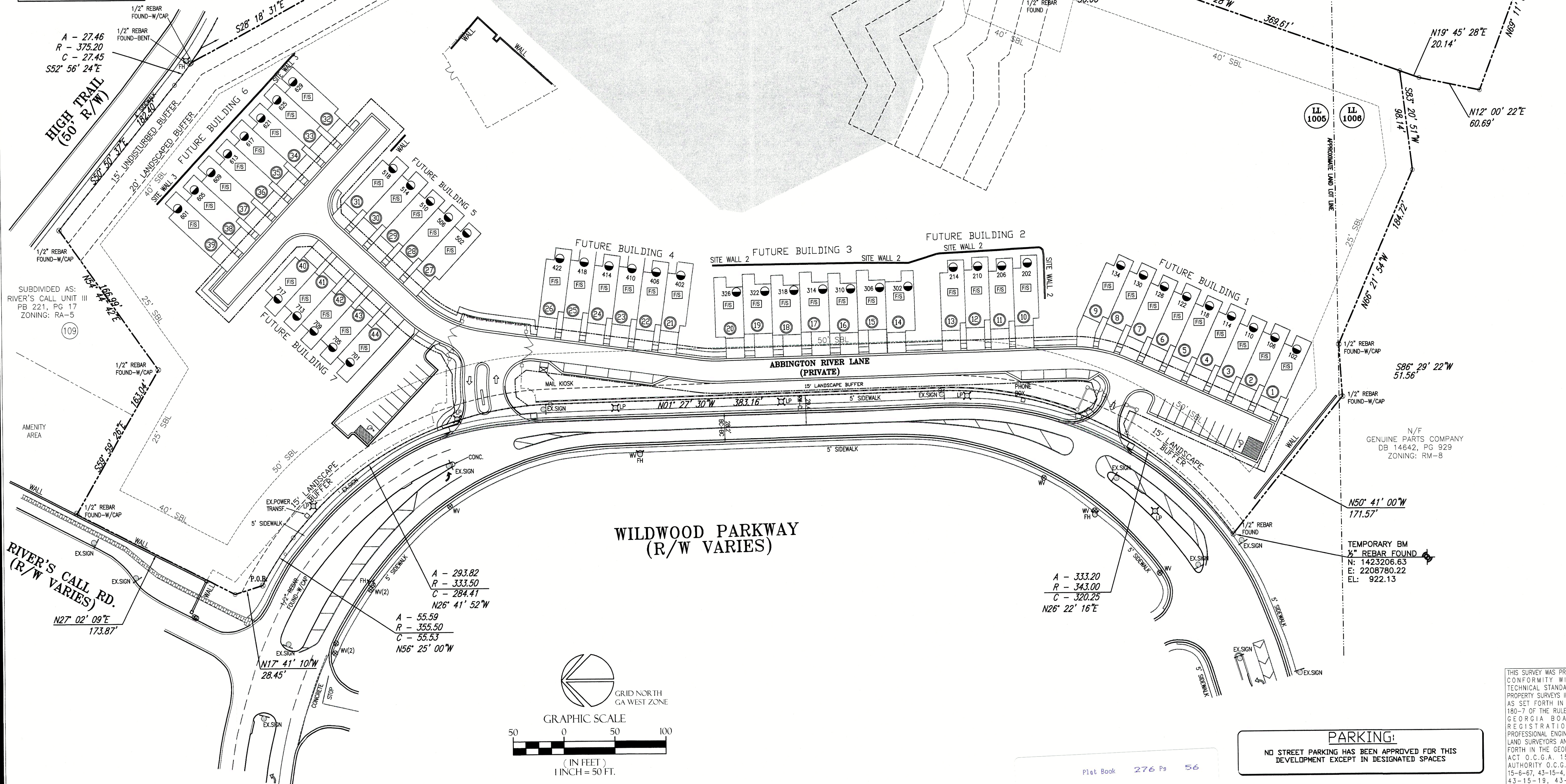
- INV INVERT ELEVATION
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- DIP DUCTILE IRON PIPE
- FFE FINISHED FLOOR ELEVATION
- TBM TEMPORARY BENCHMARK
- GV GAS VALVE
- UGCM UNDERGROUND CABLE MARKER
- GLM GAS LINE MARKER
- WLM WATER LINE MARKER
- PB PLAT BOOK
- DB DEED BOOK
- N/F NOW OR FORMERLY
- SSMH SANITARY SEWER MANHOLE
- DWCB DOUBLE WING CATCH BASIN
- SWCB SINGLE WING CATCH BASIN
- FES FLARED END SECTION
- CONC CONCRETE

INDIVIDUAL SITE PLANS MUST BE PREPARED TO DEMONSTRATE HOW RUNOFF WILL BE DIRECTED IN ACCORDANCE WITH THE HYDROLOGY STUDY. THE HOMES ON THE FIRST FLOOR/GARAGE MUST BE 1' ABOVE THE TOP OF CURB.

SUBDIVIDED AS:
RIVER'S CALL UNIT III
PB 221, PG 17
ZONING: RA-5

CONSERVATION AREA
3.545 ACRES

TRACT 2
3.631 AC.

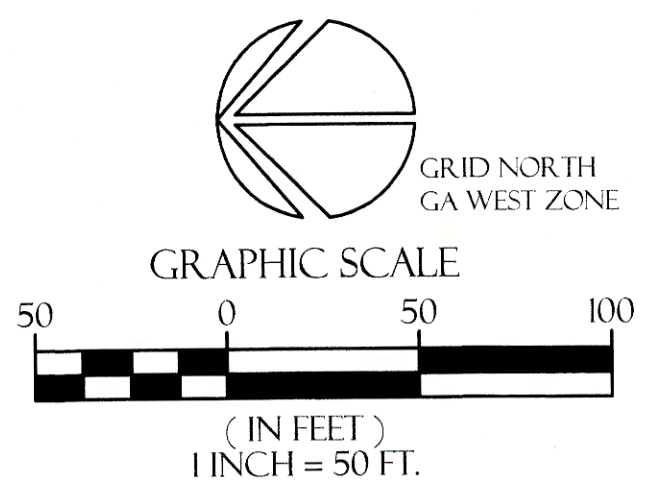


**WILDWOOD PARKWAY
(R/W VARIES)**

**ABBINGTON RIVER LANE
(PRIVATE)**

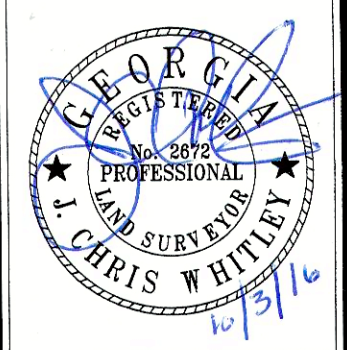
N/F GENUINE PARTS COMPANY
DB 14642, PG 929
ZONING: RM-8

TEMPORARY BM
1/2" REBAR FOUND
N: 1423206.63
E: 2208780.22
EL: 922.13



PARKING:
NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT EXCEPT IN DESIGNATED SPACES

Plot Book 276 Pg 56



MDA
MCFARLAND-DYER & ASSOCIATES
404 STATE ROAD 1000, SUITE 100
DUBLIN, GEORGIA 31006
PHONE: (770) 934-6650
WWW.MDCMDA.NET

THE FIELD DATA ON WHICH THIS PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 3888 FEET AND AN ANGULAR PRECISION OF 0.07 SECONDS. THE PLAN HAS BEEN CALCULATED USING THE SQUARE RULE METHOD AND WAS ADJUSTED USING LEAST SQUARES. THE TOTAL AREA OF THE TRACT IS 3.631 ACRES. A TABLE OF ACCURATE TOTAL STATION COORDINATES AND DISTANCES TO THE CORNERS OF THE TRACT IS ATTACHED TO THIS PLAN. FIELD DATA WAS OBTAINED ON 08/15/2016.

DATE	DESCRIPTION
10/03/2016	FINAL PLAT

ABBINGTON AT WILDWOOD
11.1005 & 1006, 17TH DISTRICT, 2ND SECTION
COBB COUNTY, GEORGIA

FINAL PLAT
SHEET 2 OF 4

THIS SURVEY WAS PREPARED IN CONFORMANCE WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67. AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-4, 43-15-6, 43-15-19, 43-15-22.

ABBREVIATIONS

INV	INVERT ELEVATION
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
FFE	FINISHED FLOOR ELEVATION
TBM	TEMPORARY BENCHMARK
GV	GAS VALVE
UGCM	UNDERGROUND CABLE MARKER
GLM	GAS LINE MARKER
WLM	WATER LINE MARKER
PB	PLAT BOOK
DB	DEED BOOK
N/F	NOW OR FORMERLY
SSMH	SANITARY SEWER MANHOLE
DWCB	DOUBLE WING CATCH BASIN
SWCB	SINGLE WING CATCH BASIN
FES	FLARED END SECTION
CONC	CONCRETE

LEGEND

	UTILITY POLE (PP)
	GUY WIRE
	LIGHT POLE (LP)
	FLAG POLE (FP)
	FIRE HYDRANT (FH)
	SIGN
	JUNCTION BOX (JB)
	DROP INLET (DI)
	WATER VALVE (WV)
	ROOF DRAIN (RD)
	CLEAN OUT (CO)
	WATER METER (WM)
	SANITARY MANHOLE
	IRON PIN FOUND
	CONCRETE
	WALL
	HEAD WALL (HW)
	FENCE LINE
	TREE LINE
	HANDICAP RAMP
	CURB AND GUTTER
	FIRE SPRINKLER SYSTEM REQUIRED

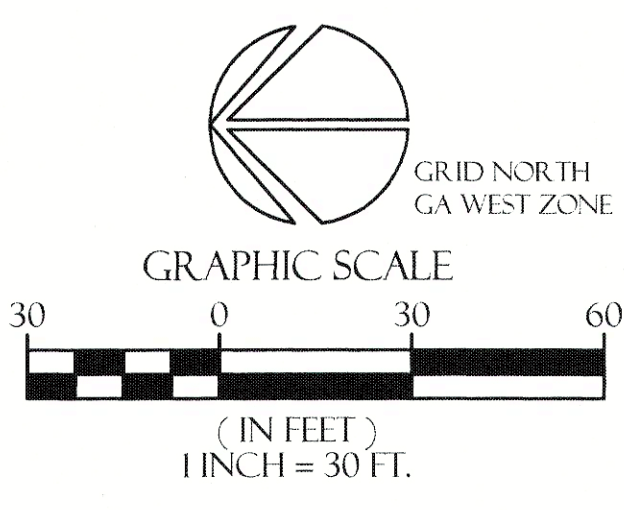
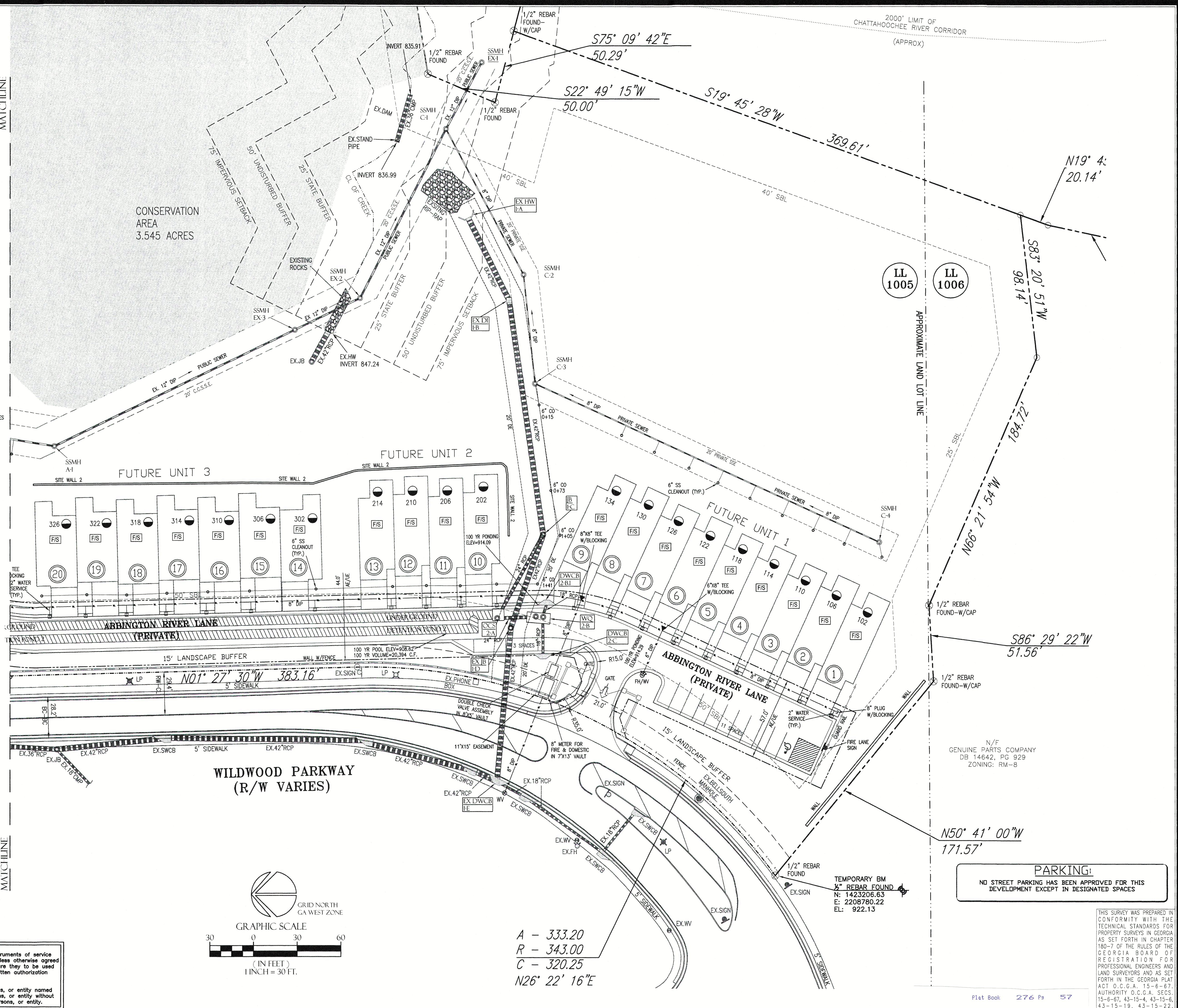
INDIVIDUAL SITE PLANS MUST BE PREPARED TO DEMONSTRATE HOW RUNOFF WILL BE DIRECTED IN ACCORDANCE WITH THE HYDROLOGY STUDY. THE HOMES ON THE FIRST FLOOR/GARAGE MUST BE 1' ABOVE THE TOP OF CURB.

DRAINAGE STRUCTURE STATE PLANE COORDINATES CHART

STRUCTURE ID	NORTHING(Y)	EASTING(X)
EX HW 1-A	1423417.4299	2209228.9087
EX DI 1-B	1423389.3750	2209172.7106
JB 1-C	1423366.0240	2209012.9260
EX JB 1-D	1423388.2200	2208949.2110
EX DWCB 1-E	1423397.6059	2208844.2922
DWCB 2-B1	1423363.4940	2208964.7430
DWCB 2-A	1423397.4730	2208955.7770
WV 2-B	1423365.9740	2208956.6760
DWCB 2-C	1423366.0510	2208930.2690
POND DCS	1423924.8260	2209270.9110
HW 3-A	1423945.0450	2209257.7720
JB 3-B	1423968.4400	2209248.3820
JB 3-C	1424018.3540	2209194.9040
SWCB 3-D	1424030.9510	2209179.0750
SWCB 3-E	1424050.6050	2209197.6820
JB 3-C1	1423913.0030	2209097.1520
SWCB 3-C2	1423991.3740	2209008.8560
SWCB 3-C3	1424011.7390	2208988.8900
SWCB 3-C4	1423988.6570	2208943.9960
DI 3-C5	1424086.7280	2208924.7650
POND 1	1423926.7140	2209235.5230
POND 2	1423607.0609	2208948.2909

IMPERVIOUS AREA BYPASS CHART

BUILDING UNIT #	IMPERVIOUS AREA BYPASS (ACRES)
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2	0.075
3	0.131
4	0.112
5	0
6	0
7	0



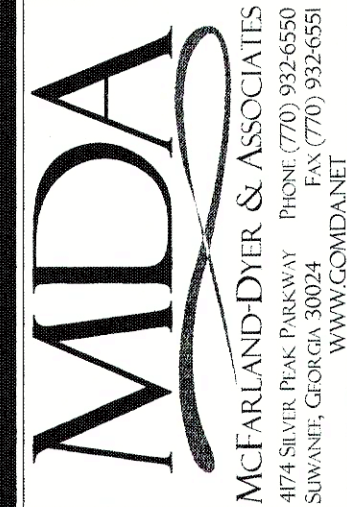
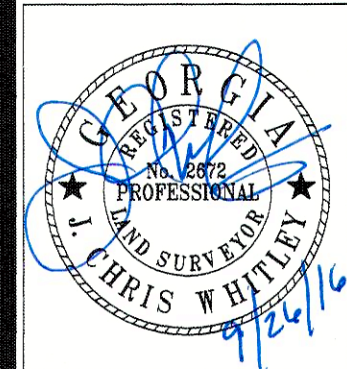
A - 333.20
 R - 343.00
 C - 320.25
 N26° 22' 16"E

PARKING:
 NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT EXCEPT IN DESIGNATED SPACES

Plot Book 276 Ps 57

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THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 38,854 FEET AND AN ANGULAR ERROR OF 80" PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES ADJUSTMENT.

A TRIANGLE OF CONJECTURE TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

FIELD DATA WAS OBTAINED ON 04-08-2006.

DATE	DESCRIPTION
09/21/2014	FINAL PLAT

ABBINGTON AT WILDWOOD

LL 1005 & 1006, 17TH DISTRICT, 2ND SECTION
 COBB COUNTY, GEORGIA

FINAL PLAT
 SHEET 3 OF 4

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. SECS. 15-6-67, 15-6-67, 43-15-4, 43-15-6, 43-15-19, 43-15-22.

ABBREVIATIONS

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FES	FLARED END SECTION
CONC	CONCRETE

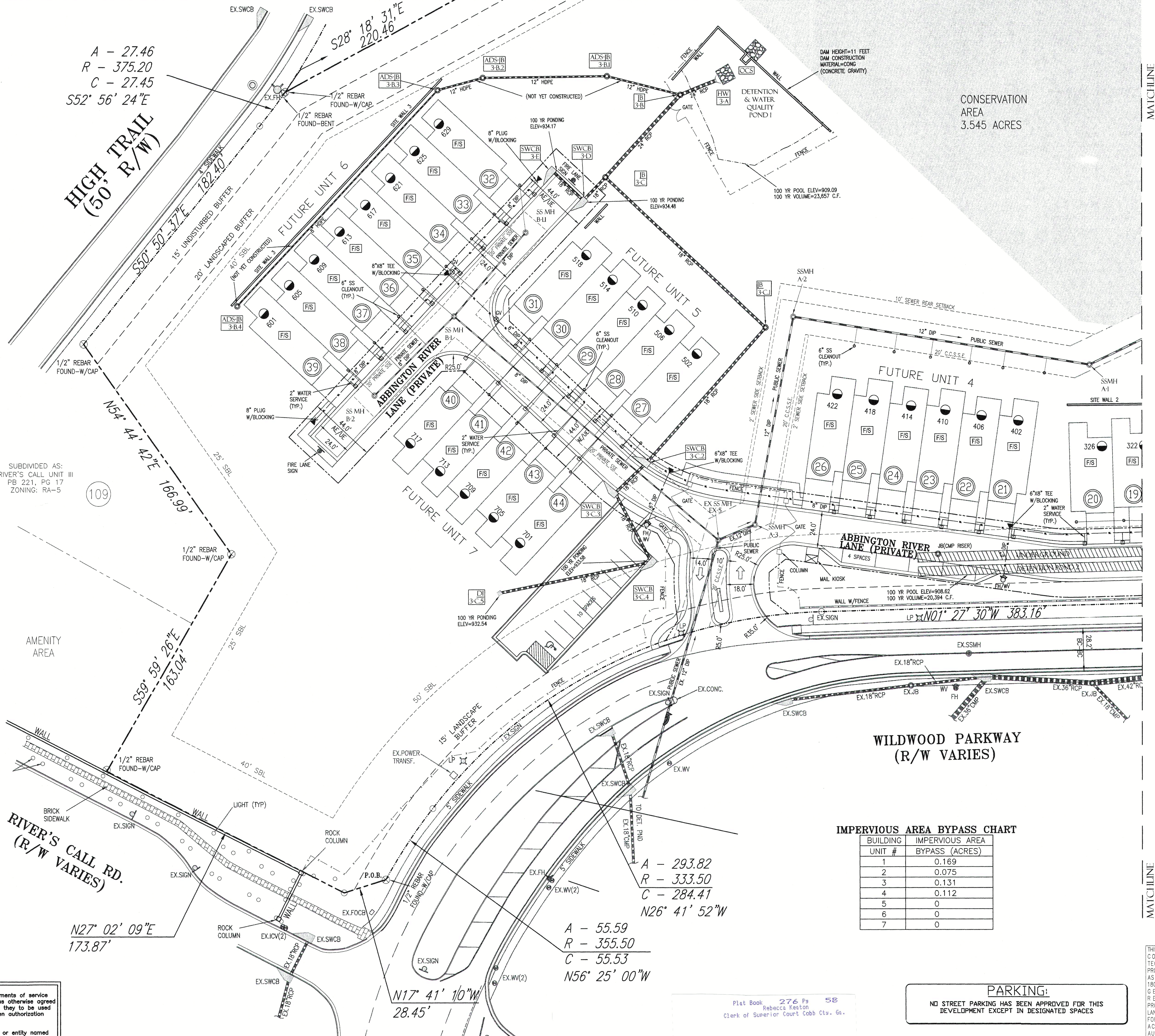
LEGEND

	UTILITY POLE (PP)
	GUY WIRE
	LIGHT POLE (LP)
	FLAG POLE (FP)
	FIRE HYDRANT (FH)
	SIGN
	JUNCTION BOX (JB)
	DROP INLET (DI)
	WATER VALVE (WV)
	ROOF DRAIN (RD)
	CLEAN OUT (CO)
	WATER METER (WM)
	SANITARY MANHOLE
	IRON PIN FOUND
	CONCRETE
	WALL
	HEAD WALL (HW)
	FENCE LINE
	TREE LINE
	HANDICAP RAMP
	CURB AND GUTTER
	FIRE SPRINKLER SYSTEM REQUIRED

INDIVIDUAL SITE PLANS MUST BE PREPARED TO DEMONSTRATE HOW RUNOFF WILL BE DIRECTED IN ACCORDANCE WITH THE HYDROLOGY STUDY. THE HOMES ON THE FIRST FLOOR/GARAGE MUST BE 1' ABOVE THE TOP OF CURB.

DRAINAGE STRUCTURE STATE PLANE COORDINATES CHART

STRUCTURE ID	NORTHING(Y)	EASTING(X)
EX HW 1-A	1423417.4299	2209228.9087
EX DI 1-B	1423389.3750	2209172.7106
JB 1-C	1423366.0240	2209012.9260
EX JB 1-D	1423388.2200	2208949.2110
EX DWCB 1-E	1423397.6059	2208844.2922
DWCB 2-B-1	1423363.4940	2208964.7430
DWCB 2-A	1423397.4730	2208955.7770
VD 2-B	1423365.9740	2208958.6780
DWCB 2-C	1423366.0510	2208930.2890
PDND DCS	1423924.8260	2209270.9110
HW 3-A	1423945.0450	2209257.7720
JB 3-B	1423968.4400	2209248.3820
JB 3-C	1424018.3540	2209194.9040
SWCB 3-D	1424030.9510	2209179.0750
SWCB 3-E	1424050.6050	2209197.6820
JB 3-C-1	1423913.0030	2209097.1520
SWCB 3-C-2	1423991.3740	2209008.8560
SWCB 3-C-3	1424011.7390	2208988.8900
SWCB 3-C-4	1423988.6570	2208943.9960
DI 3-C-5	1424086.7280	2208924.7850
PDND 1	1423926.7140	2209235.5230
PDND 2	1423607.0609	2208948.2909



SUBDIVIDED AS:
RIVER'S CALL UNIT III
PB 221, PG 17
ZONING: RA-5

AMENITY AREA

RIVER'S CALL RD.
(R/W VARIES)

WILDWOOD PARKWAY
(R/W VARIES)

IMPERVIOUS AREA BYPASS CHART

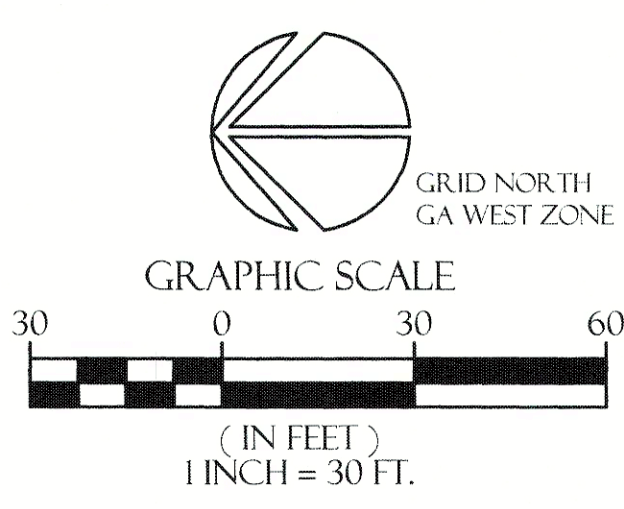
BUILDING UNIT #	IMPERVIOUS AREA BYPASS (ACRES)
1	0.169
2	0.075
3	0.131
4	0.112
5	0
6	0
7	0

A - 293.82
R - 333.50
C - 284.41
N26° 41' 52"W

A - 55.59
R - 355.50
C - 55.53
N56° 25' 00"W

N17° 41' 10"W
28.45'

N27° 02' 09"E
173.87'

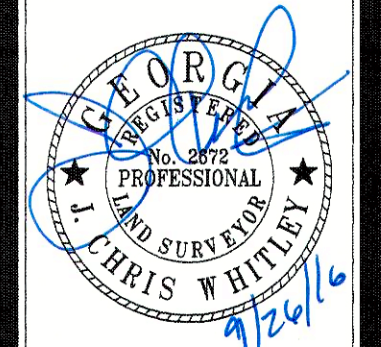


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Plat Book 276 Pg 58
Rebecca Keaton
Clerk of Superior Court Cobb Cty., Ga.

PARKING:
NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT EXCEPT IN DESIGNATED SPACES



MDA
McFarland-Dyer & Associates
475 SHAW PLACE, PARKWAY
SUITE 100, CUMMINGS, GA 30041
PHONE (770) 932-6550
FAX (770) 932-6551

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSE PRECISION OF ONE FOOT IN 8884 FEET AND AN ANGULAR ERROR OF ONE PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES RULE.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 8884 FEET. THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT:

FIELD DATA WAS OBTAINED ON 01/14/2005.

DATE	DESCRIPTION
09/21/2006 <td>FINAL PLAT</td>	FINAL PLAT

DATE: 09/21/2006
DRAWN BY: JH
CHECKED BY: MP
SURVEYED BY: TW

PROJECT: 1406
CLIENT: RIVER'S CALL UNIT III
SURVEYOR: MCFARLAND-DYER & ASSOCIATES, INC.

ABBINGTON AT WILDWOOD

LL 100'S & 100'S, 17TH DISTRICT, 2ND SECTION
COBB COUNTY, GEORGIA

FINAL PLAT

SHEET 4 OF 4

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-9-67, AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-4, 43-15-6, 43-15-19, 43-15-22.