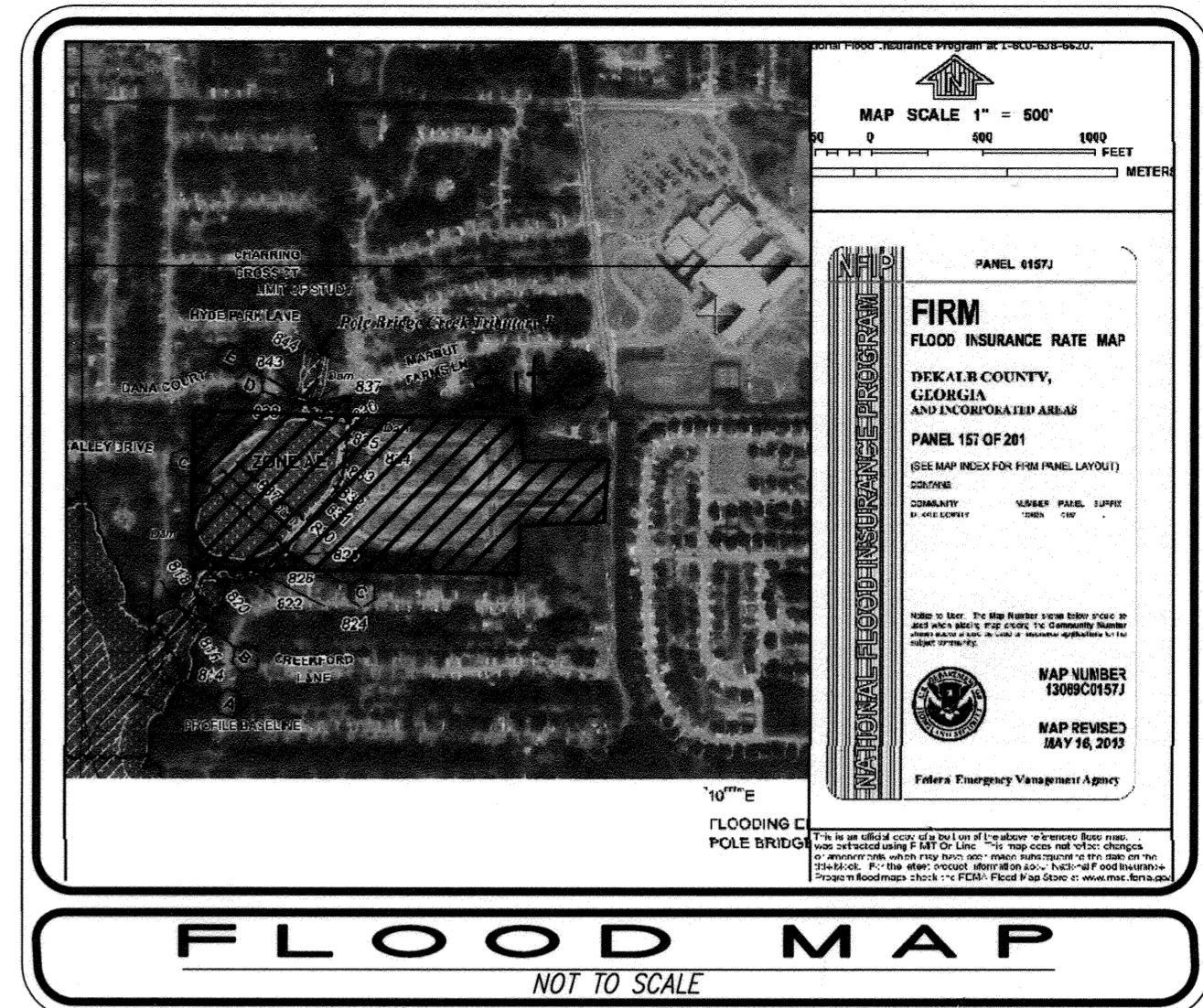
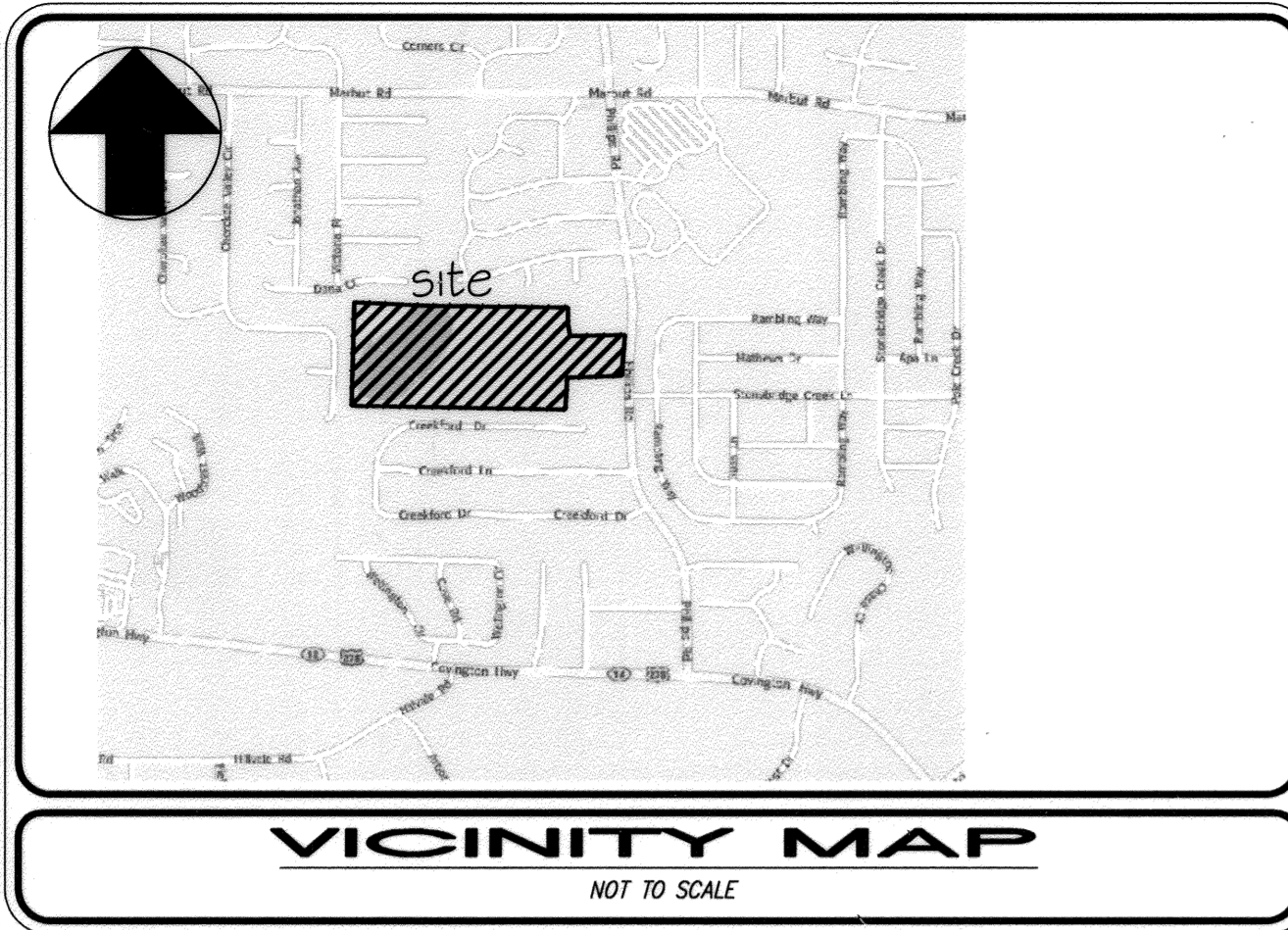


FINAL PLAT
Phillips Pond
Phillips Road
LAND LOT 103, 16th DISTRICT
DEKALB COUNTY, GEORGIA
TAX PARCEL ID: 16-103-01-016 & 16-103-01-345
AP# 20222
LDP# 13338



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

SURVEYOR'S AND OWNER'S ACKNOWLEDGMENT

(1) Surveyor's acknowledgment.
In my opinion, this plat, drawn by me or under my supervision, was made from an actual survey, and is a correct representation of the land platted and has been prepared in conformity with the minimum standards and requirements of law.
John K. Milder R.L.S. No. 2243

(2) Owner's acknowledgment.

I, **RES-GA GINGER LAKE, LLC**, the owner of the land shown on this plat and whose name is subscribed hereto, acknowledges that this plat was made from an actual survey, and for value received the sufficiency of which is hereby acknowledged, do hereby convey all streets and rights-of-way, water mains and sewer lines shown hereon in fee simple to DeKalb County, and further dedicate to the use of the public forever all alleys, parks, watercourses, drains, easements and public places hereon shown for the purposes and considerations herein expressed. In consideration of the approval of this development plan and other valuable considerations, the owner further releases and holds harmless DeKalb County from any and all claims, damages or demands arising on account of the design, construction and maintenance of the property shown hereon, on account of the roads, fills, embankments, ditches, cross-drains, culverts, water mains, sewer lines, and bridges within the proposed rights-of-way and easements shown; and on account of backwater, the collection and discharge of surface water, or the changing of courses of streams.

And further the owner warrants that he owns fee simple title to the property shown hereon and agrees that DeKalb County shall not be liable to him/her, his/her heirs, successors or assigns for any claims or damages resulting from the construction or maintenance of cross-drain extensions, drives, structures, streets, culverts, curbs or sidewalks, the changing of courses of streams and rivers, flooding from natural creeks and rivers, surface waters and any other matter whatsoever. I further warrant that I have the right to sell and convey the land according to this plat and do hereby bind myself and owners subsequent in title to defend by virtue of these presents.

In witness whereof, I have hereunto set my hands this 1 day of Feb, 2016.

Witness: *John K. Milder* Notary Public
By: *Mark King* Authorized Signatory
RES-GA GINGER LAKE, LLC
Owner
Corporate Seal

"WATER & SEWER AVAILABILITY ACKNOWLEDGMENT"

We, the undersigned, hereby state that all lots shown on the plan for the project known as Phillips Pond lying in Land Lot 103 of the 16th district, DeKalb County, Georgia, are provided with services for connection to the public water and sanitary sewer systems.

This the 1 day of February, 2016.
John Milder
Engineer/Surveyor/Contractor

I certify that this project meets the DeKalb County Stormwater Quality requirements per the Development Ordinance Section 14-42.
John K. Milder
John K. Milder PE# 25942

I certify that the developer has complied with the potable water requirements and the sanitary sewer requirements of the County.
This 22nd day of August, 2016.
Scott A. Calk
Director
Department of Watershed Management

I certify that this plat has been approved by all affected departments and complies with all zoning, environmental and subdivision requirements.
This 25th day of August, 2016.
W. Wade
Director of Public Works

This is to certify that this final plat complies with all County Zoning, Environmental, and Subdivision Ordinances and Regulations and all applicable state and federal laws.
Dated this 25th day of August, 2016.
Richard Bell
Director, Development Department

This is to certify that this final plat complies with all County Zoning, Environmental, and Subdivision Ordinances and Regulations and all applicable state and federal laws.
Dated this 25th day of August, 2016.
Richard Bell
Director, Planning Department

CHIEF EXECUTIVE'S ACKNOWLEDGMENT

This plat has been submitted to and accepted by the Chief Executive Officer of DeKalb County, Georgia and has been approved as required by state law and county codes as meeting all conditions precedent to recording in the superior court of this circuit.

Dated this 21 day of August, 2016.
Lee May
Interim Chief Executive Officer
DeKalb County, Georgia



GENERAL NOTES:

- NO CEMETERIES, ARCHEOLOGICAL OR ARCHITECTURAL LANDMARKS ARE KNOWN TO EXIST ON SITE.
- THERE ARE DEKALB COUNTY MONUMENTS WITHIN 500 FT. OF THE PROJECT.
- STATE LAW PROHIBITS THE PRIVATE CONSTRUCTION, PLANTING, OR OTHERWISE MAKING IMPROVEMENTS ON THE DEDICATED RIGHT-OF-WAY. THE SOLE RESPONSIBILITY FOR REPAIRING OF ANY DAMAGE OF ANY SUCH IMPROVEMENTS SHALL BE THE PROPERTY OWNERS.
- NO WORK IN RIGHT-OF-WAY, INCLUDING PAVED SURFACES, PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM DEKALB COUNTY PUBLIC WORKS DEPARTMENT.
- IF THE CUMULATIVE DISTURBED AREA ON THESE LOTS EQUALS ONE ACRE OR MORE AT ANY POINT IN TIME, A LAND DISTURBANCE PERMIT MUST BE OBTAINED THROUGH THE DEKALB COUNTY COMMUNITY DEVELOPMENT AGENCY. FOR QUESTIONS, CALL THE SITE PLAN REVIEW SECTION MANAGER.
- DISTANCES SHOWN ON THE PLAN ARE GROUND DISTANCES.
- BOUNDARY INFORMATION SHOWN PER A BOUNDARY AND TOPOGRAPHICAL SURVEY PREPARED BY RAWLE J. STANLEY, DATED 11/8/2005, AND FROM A BOUNDARY AND TOPOGRAPHICAL SURVEY PREPARED BY RAWLE J. STANLEY, DATED 7/23/2004. SAID BOUNDARY INFORMATION IS ALSO SHOWN ON APPROVED CONSTRUCTION PLANS FOR PHILLIPS POND SUBDIVISION, PREPARED BY TRUE VINE ENGINEERING, INC., DATED 2-21-07, APPROVED FOR CONSTRUCTION ON 6-22-07.
- UNLESS OTHERWISE SPECIFIED, ALL DISTANCES AS SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET (39.37 INCHES = 1 METER).
- THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 29,103 FEET, AN ANGULAR ERROR OF 2" PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. ANGULAR AND LINEAR MEASUREMENTS WERE MADE USING A TRIMBLE 5603 ROBOTIC TOTAL STATION. A PORTION OF THIS SURVEY WAS PERFORMED USING A TRIMBLE R9 GPS RECEIVERS WITH NETWORK ADJUSTED REAL TIME KINEMATIC MEASUREMENTS REFERENCED TO THE EGPS NETWORK. THE GPS SURVEY INCLUDED REDUNDANT MEASUREMENTS WITH POSITIONAL ACCURACY BETTER THAN 0.07". THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 33,147 FEET.
- THE DEVELOPER IS RESPONSIBLE FOR PROVIDING PERFORMANCE AND/OR MAINTENANCE BONDS. PLAT WILL BE HELD FROM RECORDING UNTIL BONDS ARE RECEIVED AND APPROVED.
- ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOODPLAIN SHALL BE CONSTRUCTED SO THAT ALL PORTIONS OF THE STRUCTURE, INCLUDING THE BASEMENT FLOOR OR CRAWL AREAS, SHALL BE NOT LESS THAN THREE FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATIONS.
- ANY RESIDENTIAL POND, DAM AND OUTLET CONTROL STRUCTURE MUST BE LOCATED ON A SEPARATE LOT OUTSIDE THE BOUNDARIES OF ANY PERMITTED BUILDING LOTS.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPUS OF ENGINEERS REQUIREMENTS REGARDING WETLAND.
- THE HOME OWNERS ASSOCIATION IS RESPONSIBLE FOR ANY REPAIR OR REPLACEMENT OF ANY IMPROVEMENTS WITHIN THE SANITARY SEWER/WATER/RAINAGE EASEMENT(S) DUE TO MAINTENANCE OF SEWER/WATER/STORM DRAIN BY DEKALB COUNTY. THE HOME OWNERS ASSOCIATION IS ALSO RESPONSIBLE FOR MAINTAINING RETENTION/DETENTION FACILITY.
- ALL STORMWATER INFRASTRUCTURES ON THIS SITE ARE PRIVATELY OWNED AND ANY MAINTENANCE OR REPLACEMENT IS THE HOME OWNERS ASSOCIATION RESPONSIBILITY.
- DEKALB COUNTY SHALL BE RESPONSIBLE SOLELY FOR THE 8 INCH SANITARY SEWER, THE 6 INCH SEWER SERVICE LATERAL PIPE UP TO THE CLEAN-OUT, AND THE 8 INCH WATERMAIN.
- WATER SERVICE TO BE PROVIDED BY DEKALB COUNTY.
- SANITARY SEWER SERVICE TO BE PROVIDED BY DEKALB COUNTY.
- ALL UTILITIES, INCLUDING ELECTRIC SERVICE, ARE LOCATED UNDERGROUND.
- THIS PROPERTY IS SUBJECT TO ALL ZONING REQUIREMENTS (AS PER CASE 2-05-086) AND TO LAND DISTURBANCE PERMIT # 13338.
- ALL STORMWATER INFRASTRUCTURES SHOWN ON THIS PLAN ARE THE SAME AS ARE SHOWN ON THE AS-BUILT DRAWINGS SUBMITTED TO DEKALB COUNTY STORMWATER MANAGEMENT.
- #4 REBAR TO BE SET ON ALL PROPERTY CORNERS (FUTURE) UNLESS OTHERWISE NOTED.
- EACH DWELLING UNIT IS REQUIRED TO PROVIDE FOUR OFF-STREET PARKING SPACES.
- SIDEWALKS ARE REQUIRED AS SHOWN ON PLAN.
- THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTAINING COMMON AREAS.
- PROVISIONS HAVE BEEN MADE FOR STREET LIGHTING.
- A 10' LANDSCAPE BUFFER EXISTS ON ALL DOUBLE FRONTAGE LOTS. EXTERNAL LOTS SHALL HAVE THE BUFFER ON THE EXTERNAL STREET. INTERNAL LOTS BUFFER SHALL BE ON THE STREET(S) WHICH IS/ARE NOT THE PRIMARY ACCESS STREET(S) OR THE STREET TO THE REAR OF THE HOUSE.
- FOR HOMES LOCATED BELOW THE STREET, A SEWER RELIEF VALVE IS REQUIRED ON CLEAN-OUT OUTSIDE EACH BUILDING AND AT THE LOWEST FLOOR ELEVATION. A BACKFLOW CHECK VALVE IS REQUIRED BETWEEN CLEAN-OUT AND THE STRUCTURE.
- A FOUNDATION LOCATION CERTIFICATE MUST BE SUBMITTED TO DEKALB COUNTY PRIOR TO FOOTING INSPECTION FOR THE FOLLOWING LOTS. ALL EASEMENTS, BUFFERS, AND FLOOD LIMITS ON THESE LOTS MUST BE CLEARLY IDENTIFIED NO SITE AT THE TIME OF FOOTING INSPECTION. LOTS: 1-5, 12-24, 36, 37, 39-45, AND 56-69.
- VEHICULAR ACCESS IS PROHIBITED FROM INDIVIDUAL LOTS TO PHILLIPS ROAD. (LIMITED ACCESS SYMBOL: //)
- A 10FT DRAINAGE EASEMENT EXISTS BETWEEN ALL LOTS AND ALONG THE PERIMETER BOUNDARY LINES OF THE SUBDIVISION EXCEPT WHERE SHOWN OTHERWISE.
- THE FOLLOWING LOTS WILL CONTAIN FILL DEPTH OF TWO (2) FEET OR GREATER BETWEEN THE ROAD RIGHT-OF-WAY AND REAR BUILDING LINE AND WILL HAVE RECEIVED FILL DURING THE DEVELOPMENT STAGE. THESE LOTS REQUIRE COMPACTION CERTIFICATION SEALED BY A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER TO BE SUBMITTED PRIOR TO FINAL PLAT RECORDING. LOTS: 46-58.
- LOTS THAT WILL REQUIRE FILL DEPTH OF TWO (2) FEET OR GREATER BETWEEN THE ROAD RIGHT-OF-WAY AND REAR BUILDING LINE AT THE TIME OF FUTURE LOT GRADING WILL REQUIRE A COMPACTION CERTIFICATION SEALED BY A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER TO BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION.
- INERT LANDFILLS OR THE BURYING OF CONSTRUCTION DEBRIS, TREE STUMPS AND TOPS OR ANY OTHER REFUSE IS PROHIBITED EXCEPT IN M-2 INDUSTRIAL DISTRICT PER LAND DEVELOPMENT ORDINANCE CHAPTER 14, ARTICLE II, SECTION 14-57(b)(6).
- AN EASEMENT SHALL EXIST WHICH INCLUDES THE FLOOD PLAIN PLUS FIVE FEET.

SITE NOTES

SITE ADDRESS:
2285 PHILLIPS RD.
TAX PARCEL ID:
16-103-01-016 & 16-103-01-345
SITE AREA:
OVERALL: 24.73 ACRES (1,077,141 S.F.)
DISTURBED AREA:
110.2 ACRES
ZONING: R-AS
ZONING CASE #2-05-086
MINIMUM LOT SIZE: 6,000 S.F.
MINIMUM DWELLING SIZE: 1,600 S.F.
MINIMUM YARD ADJACENT TO PUBLIC STREET:
MAXIMUM BUILDING HEIGHT: 35'
MAXIMUM COVERAGE: 35%
MINIMUM LOT WIDTH: 60'
MINIMUM LOT WIDTH @ CUL-DE-SAC: 35'
BUILDING SETBACK LOT REQUIREMENTS:
FRONT YARD:
5 FEET EXCEPT WHERE A GARAGE DOOR FACES THE STREET
20 FEET FACE OF SIDEWALK TO GARAGE FACADE
15 FEET CORNER LOTS
SIDE YARD: 7.5'
REAR YARD: 30'
MIN. DISTANCES BETWEEN FOUNDATIONS:
EXTERIOR SETBACK:
COMMON AREA:
OPEN SPACE REQUIREMENTS:
TOTAL AREA = 42.27%
AREA REQUIRED = 13.80 ACRES
AREA IN SEWER EASEMENT = 0.24 ACRES
AREA PROVIDED = 13.80 ACRES
NET AREA PROVIDED = 13.56 ACRES
DENSITY:
OVERALL: 2.79 UNITS PER ACRE
GROSS DENSITY: 6924.7 = 2.79 LOTS/ACRE
NET DENSITY: 6924.7 = 2.79 LOTS/ACRE (NO FLOODPLAIN, POWER/GAS EASEMENT OR RW)
NUMBER OF LOTS: 69

OWNER/DEVELOPER

RES - GA GINGER LAKE, LLC
7000 Central Parkway NE, Suite 700
Atlanta, GA 30328
770-580-6522
24 HOUR EMERGENCY CONTACT
Mr. Steve Coxmann

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	NOTES
3	OVERALL SITE PLAN
4-5	FINAL PLAT

LEGEND

- HEADWALL
- MANHOLE
- JUNCTION BOX
- DROP INLET
- CATCH BASIN
- DE DRAINAGE EASEMENT
- SSE SANITARY SEWER EASEMENT
- AE ACCESS EASEMENT
- LS LANDSCAPE STRIP
- S SANITARY SEWER LINE
- R/W RIGHT OF WAY
- W WATER LINE
- BSL BUILDING SETBACK LINE
- STORM LINE
- CL CENTERLINE
- POB POINT OF BEGINNING
- ILP INDIVIDUAL LOT PLAN
- TBM TEMPORARY BENCH MARK
- WATER VALVE
- ◆ FIRE HYDRANT
- HCR HANDICAP RAMP
- WE WATER EASEMENT
- BC BACK OF CURB
- MFFE MINIMUM FINISHED FLOOR ELEV.
- XSEC CROSS SECTION
- #/ LIMITED ACCESS
- IPS 1/2" REBAR SET

Zoning Conditions - Case # Z-05-086

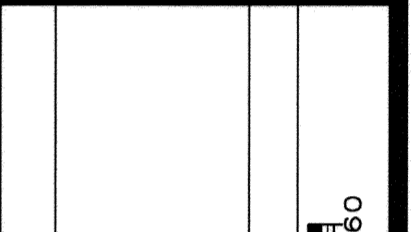
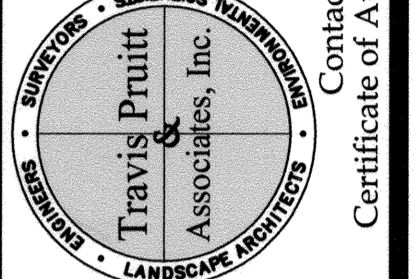
- The maximum number of units shall be 75 units.
- Minimum heated floor area for each unit shall be 1,600 square feet.
- There shall be a mandatory homeowners association for the subdivision, which shall own, control and maintain all common areas and amenities.
- Each unit shall have an attached two-car garage.
- Sidewalks shall be located on both sides of the streets throughout the subdivision.
- All homes shall have brick, stone or mixed thereof on the fronts. The remaining sides of the homes shall be covered with brick, stone, stucco or hardiplank siding. No vinyl or aluminum siding shall be allowed.
- The entrance to the property shall be marked by a brick monument sign and shall be landscaped.
- All detention facilities shall be shielded from view with evergreen trees and a minimum six (6) foot high fence as provided in the DeKalb County Development Code.
- Sidewalks shall be placed along the portion of the Phillips Road right-of-way abutting the subject property.
- No rear facades of any dwelling units shall face Phillips Road.
- Underground utilities shall be used throughout the subject property.
- At least one of the two ponds currently located on the subject property shall be preserved as common area, and a portion of the buffer area surrounding the preserved pond shall be improved with the pervious walking/jogging trail and outdoor furniture and/or recreational equipment.
- Front, side and rear yards shall be sodded with the exception of landscaped islands for trees, shrubs and plants.
- The homes shall have gutters to control the flow of water.
- There shall be a minimum of four (4) different home plans and no two (2) adjacent homes shall have front facades that have the same look.

STORMWATER NOTES

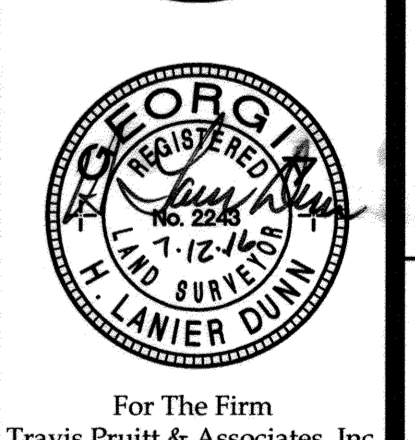
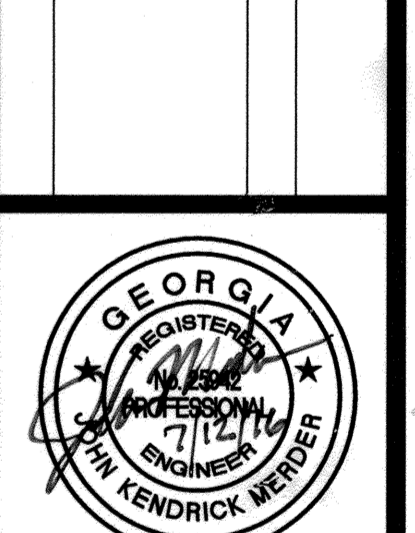
- A portion of this property does lie within a 100-year Flood Hazard Zone as defined by the F.E.M.A. FIRM of DeKalb County, Georgia, Community Panel 13089C0157J dated 05/16/2013.
- A 75-foot undisturbed buffer shall be maintained adjacent to all streams.

2016127804 PLAT BOOK 244 Pg 69
Filed and Recorded:
9/12/2016 4:08:10 PM
Debra DeBerry
City of DeKalb County
DeKalb County, Georgia

PROTECTIVE COVENANTS RECORDED IN DEED BOOK 25382 PAGE 598
DATED: 2/2/2016



Cover Sheet
Phillips Pond
AP# 20222
LAND LOT 103, 16th DISTRICT, DEKALB COUNTY, GEORGIA
GRAPHIC SCALE: 1" = 80' IN FEET
20 40 80 120 160



For The Firm
Travis Pruitt & Associates, Inc.
This survey was prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

DATE: 7/22/15
FIELD DATE: 6/11/15
SCALE:
LSV: 1:50202.265 FP.DWG
JN: 1:50202.265 FP.DWG
FN: 1:59-D-041
Sheet No. 1 of 5

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Travis Pruitt & Associates, Inc.
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Resubmitted No fee 6/16/07 13543
DeKalb County Planning & Development Department
 Vernon Jones Chief Executive Officer
 Patrick Ejike Director

Application for Administrative Variance of Development Standards Per Code 14-34(b)

Fee: \$100.00 (non-refundable) payable when application is filed. Attach a scale site plan showing all property lines with dimensions; location, size and species of all significant and specimen trees; all existing and proposed buildings; storm drains; sanitary sewers; flood plains; state waters; buffers, easements and fences, north arrow, and land lot and district. The plan must depict the exact nature of the site conditions from which the variance is sought (grading, soil erosion and sedimentation control, storm water management, water quality control) per 14-34(b)(3)

APPLICANT: TGM, Inc.
 ADDRESS: PO Box 670 Loganville, GA 30052 PHONE: 770-979-6600
 OWNER: TGM, Inc.
 ADDRESS: PO Box 670 Loganville, GA 30052 PHONE: 770-979-6600
 ADDRESS OF PROPERTY FOR WHICH THE VARIANCE IS REQUESTED: Phillips Blvd Subdivision - Phillips Road
 TYPE OF VARIANCE REQUESTED: To allow a storm pipe within the 75' Buffer (Buffer Reduction)

14-34(B)(1). Except as further limited herein, an applicant may request a variance from the terms of the requirements of sections 14-37, 14-38, 14-40, and 14-42 of this Chapter 14. The director shall have no power to consider or to grant variances which are the responsibility of the director of the EPD pursuant to O.C.G.A. § 12-2-34 and other relevant state statutes and regulations. The director is authorized to consider applications for variance zone adjacent to waters of the state set forth in section 14-38(B)(4); 15, wherein the director of the EPD has jurisdiction, provided that the director may authorize placement of a drainage structure or a readily draining structure, but not a detention or sedimentation control facility, within said twenty-five-foot state buffer zone if said structure must be constructed and further provided that adequate erosion control measures are incorporated in the project plans and specifications and adequate erosion control measures are implemented. Where variances involving the same project are requested from both the director of the EPD and the director as set forth above, the director shall take no action on any such request for variance until the director of the EPD shall have granted the variance or otherwise approved the request pending before the EPD. Receiving a variance from the director of the EPD does not obligate the director to permit the project if the project does not also meet all the other requirements of this article.

a. The request, while not strictly meeting the requirements of this Chapter 14, will in the judgment of the director be at least as protective of natural resources and the environment as would a plan which met the strict application of these requirements. In making such a judgment, the director shall examine whether the request will be at least as protective of the natural resources and the environment with regard to the following factors:

1. Stream bank or soil stabilization.
2. Trapping of sediment in surface runoff.
3. Trapping of nutrients, heavy metals, pesticides and other pollutants from surface runoff.
4. Terrestrial habitat, food chain, and migration corridor.
5. Buffering of flood flows.
6. Infiltration of surface runoff.
7. Noise and visual barriers.

RESPONSE: The request to pipe the stormwater discharge across the stream buffer will help prevent channelized flows from the pond, making the stream banks stable. While installing the pipe, all erosion control measures will be implemented to trap all sediment.

By reason of exceptional topographic or other relevant physical conditions of the subject property which were not created by the owner or applicant, there is no opportunity for any development under any design configuration unless a variance is granted.

RESPONSE: The request to pipe the pond to the stream, not only prevents the bank from being washed out, but if the variance is not approved then the owner will be forced into using 3 lot because of topographic conditions.

If request does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privileges inconsistent with the state upon other properties which are similarly situated.

RESPONSE: No special privileges are granted under this variance.

4. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the area in which the property is located.

RESPONSE: If the variance is not granted then damage will occur to all downstream properties nearly every storm. To prevent the buffer from being washed out, the pond discharge would have to be less than 6 cfs. In this the designed pond will be eroding the banks after a 2 year storm. In the event of a 100 year storm the pond discharge is 60.7 cfs.

e. The literal interpretation and strict application of this applicable provisions or requirements of this Chapter 14 would cause an extreme hardship.

RESPONSE: If the variance is not approved the owner will be forced into making the pond twice as large as it is being proposed, and resulting in losing 3 lots.

f. The requested variance would be consistent with the spirit and purpose of this Chapter 14 and the DeKalb County Comprehensive Plan text.

RESPONSE: Because a pond is needed for detention and water quality issues for the proposed subdivision, the discharged flow will be concentrated flows. From DeKalb County requirement 14-42.3, concentrated are to be prevented.



DeKalb County Planning & Development Department
 Burrell Ellis Chief Executive Officer

STATE WATER DETERMINATION FORM

Parcel I.D. Number: 16 103 Date: 4-28-16
 Site Address: 2285 Phillips/Phillips Blvd St
 Determiner's Name: Gary Hubbard Title: Super. Escrow Comp
 Property Owner (Requested By): John Mender / Travis Pruitt
 Phone #: 770-695-1002 Fax: _____
 Address: _____

Type of Water Feature: Drainage Ditch (Storm water & Emergency Lake overflow)

River Stream Creek Branch Lake Reservoir Pond Drainage System Spring Well
 Is there flow? Yes No
 (If yes) Surface Subsurface

Is there wretched edge vegetation? Yes No w/ weather

Is there a defined channel? Yes No Drainage Ditch

Is it confined entirely on owner's property? Yes No

Are hydric soils present? Yes No

Is wetland vegetation present? Yes No

Final Determination: State Water (buffers required) No State Water observed "See Attached" Map

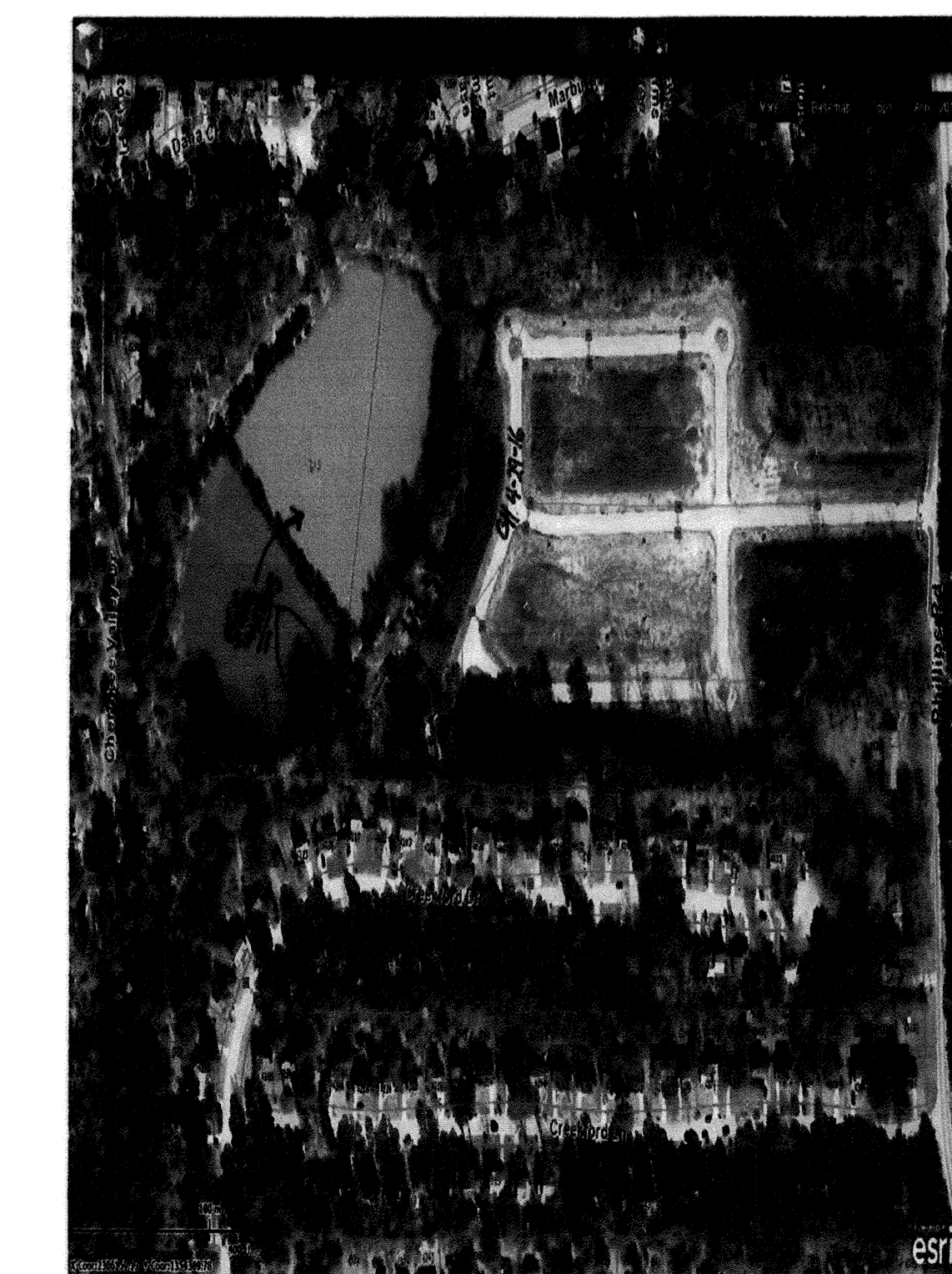
Comments: Buffer is on lakes, and starts at Lake overflow/outfall.

Date Site visited: This form is only good for 12 months from Date Site Visited. Date Site Visited must be within 6 months of any Land Disturbing Activity Permit Application. GH 4/27/16

330 West Ponce de Leon Avenue, Suite 300, Decatur, Georgia - 30030
 Phone: 404.371.2617 Fax: 404.371.2780
 Web Address: <http://www.travispruitt.com>
 Email Address: planninganddevelopment@travispruitt.com

ArcGIS Viewer for Flex

Page 1 of 1



<http://gis-image-srv1/test/>

4/29/2016

Additional questions for PD-VAR Application

14-24 Does the application include a Scaled & Sealed Plans?
 (Yes) No

Do all property lines bear dimensions?
 (Yes) No

Does it include Grading Existing Topography and Proposed Contour?
 (Yes) No

If you are not the owner, is there a Power of Attorney included with this application?
 Yes No

Have you inserted other Plans/Documents?
 (Yes) No

If so, list them below:
State Buffer Variance, Flood Maps, and Criteria

Are you showing a Stormwater Management (Detention) On your plan?
 Yes No

Are you showing Water Quality Control?
 Yes No

If Buffer Reduction Request, it is required a Stream Buffer Zone 75 feet. How many feet of Buffer are you requesting?
30 x 75 Feet

Check the box below if drawings indicate all of the following: The standard DeKalb 75 feet buffer, the standard State of Georgia 25 feet buffer, as well as the requested reduced buffer.
 Yes No

Name what design feature or buffer management requirements have been proposed for the planned reduction.
The proposed design is the best buffer management practice.

*NOTE: The State of Georgia buffer is the closest 25 ft to the state waters. The standard DeKalb County stream buffer is 50 feet beyond the State of Georgia buffer for a total of 75 feet of stream buffer in DeKalb County.

APPLICANT: Ginger Zebian DATE: 4/8/07
 SIGNATURE: _____

AMOUNT: _____ MAP REFERENCE: _____
 RECEIPT: _____ ZONING DISTRICT: _____
 DATE RECEIVED: _____ DEV. FILE # _____

TYPE OF VARIANCE GRANTED: _____

14-37. GRADING _____

14-38. EROSION CONTROL _____

14-40. STORMWATER MANAGEMENT _____

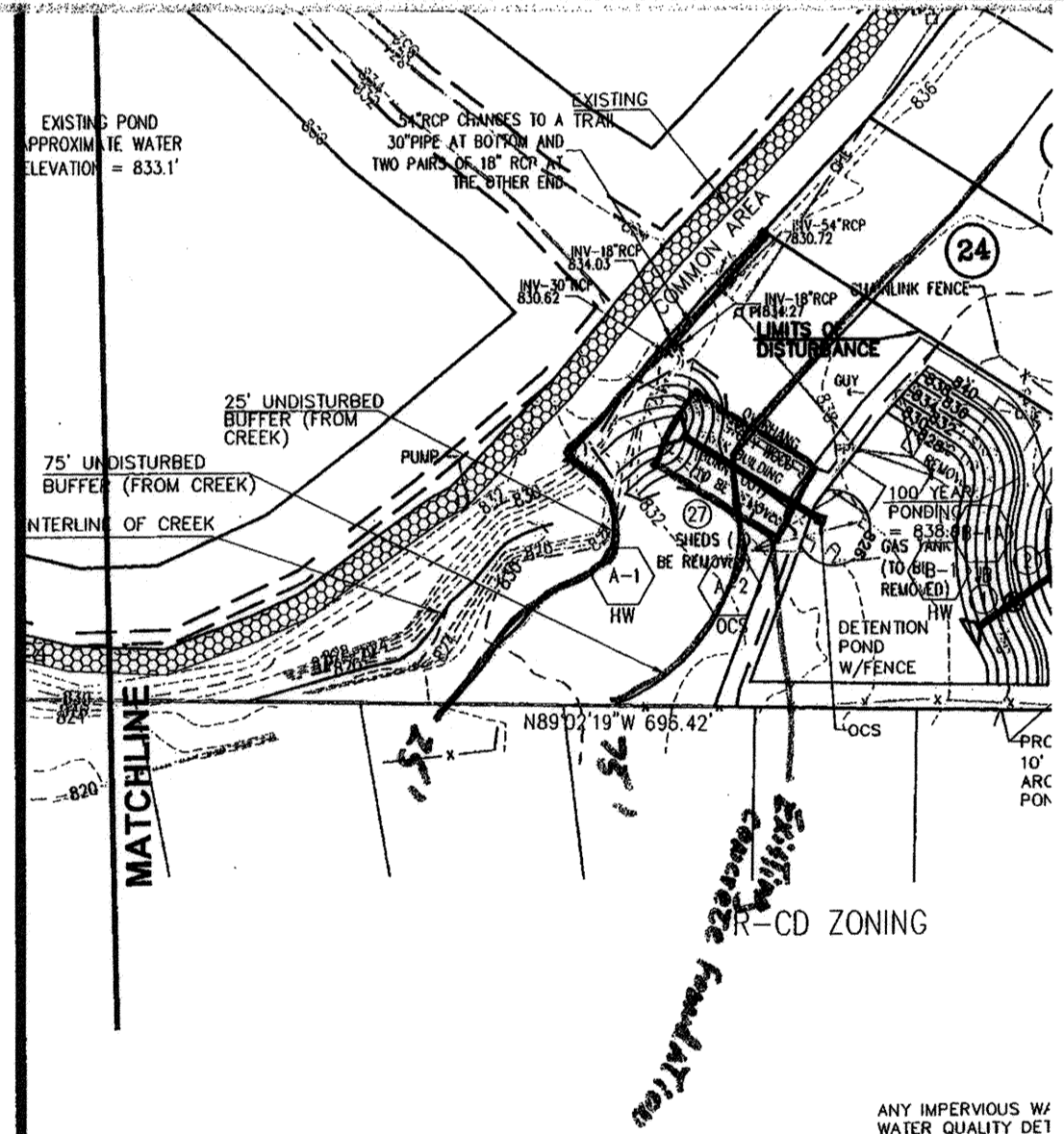
14-42. WATER QUALITY CONTROL _____

COMMENTS: _____

ACTION TAKEN: Approved to construct out fall pipe where the concrete foundation is located. Remove existing concrete foundation.

DATE: 06/14/10 V. Carikan
 DIRECTOR OF DEVELOPMENT

13



ENGINEER: TRUE WINE ENGINEERING, INC.
 7724 HAMPTON PLACE
 LOGANVILLE, GA 30052
 PHONE: (770) 466-5890
 FAX: (770) 466-9476

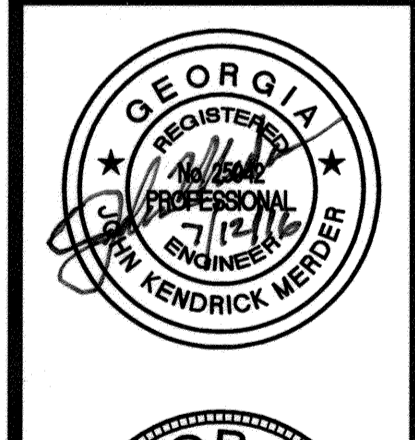
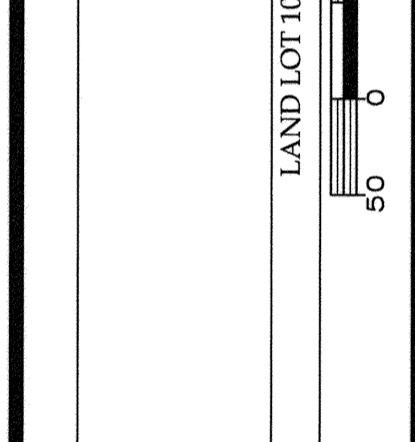
OWNER/DEVELOPER: TOM INC.
 PO BOX 670
 LOGANVILLE, GA 30052
 PHONE: (770) 979-6000
 FAX: (770) 466-3501

NO.	DATE	DESCRIPTION	BY

4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7511
 Fax: (770) 416-6759
 www.travispruitt.com
 Contact Person: John Mender
 Certificate of Authorization Number 613

Final Plat - Notes
Phillips Pond
 LAND LOT 103, 16th DISTRICT, DEKALB COUNTY, GEORGIA
 AP# 20222
 GRAPHIC SCALE: 200' IN FEET
 50 0 100 200 300 400

330 West Ponce de Leon Avenue, Suite 300, Decatur, Georgia - 30030
 Phone: 404.371.2617 Fax: 404.371.2780
 Web Address: <http://www.travispruitt.com>
 Email Address: planninganddevelopment@travispruitt.com



For The Firm
Travis Pruitt & Associates, Inc.
 This survey was prepared in conformity with The Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

DATE: 7/22/15
 FIELD DATE: 6/11/15
 SCALE: 1" = 100'
 LSV: 150202.265 FP.DWG
 JN: 150202.265 FP.DWG
 EN: 159-D-041

CUL-DE-SAC LOT WIDTHS

LOT	WIDTH @ RW	WIDTH @ FRONT BSL
9	56.53	61.09
10	56.44	62.91
17	56.44	62.57
25	91.12	93.97
36	81.08	87.02

CURVE TABLE

CURVE NO.	LENGTH	RADIUS	CHORD LENGTH	CHORD DIRECTION
C1	13.98'	9.50'	12.75'	N46°45'49"E
C2	14.93'	9.50'	13.44'	S46°06'31"E
C3	12.12'	15.00'	11.80'	S22°02'04"W
C4	18.48'	46.50'	18.36'	S33°47'49"W
C5	50.80'	46.50'	48.31'	S08°52'36"E
C6	50.73'	46.50'	48.25'	S71°25'13"E
C7	28.19'	46.50'	27.76'	N59°58'04"E
C8	12.12'	15.00'	11.80'	N65°44'58"E
C9	12.47'	15.00'	12.14'	S68°03'48"E
C10	10.68'	46.50'	10.66'	S51°36'47"E
C11	50.67'	46.50'	48.20'	S89°23'06"E
C12	86.68'	46.50'	74.67'	S06°00'17"W
C13	12.12'	15.00'	11.80'	N24°15'02"W
C14	44.93'	122.50'	44.68'	N09°23'53"E
C15	25.31'	122.50'	25.27'	N25°49'22"E
C16	12.88'	15.00'	12.49'	N56°19'32"E
C17	27.04'	50.00'	26.72'	N65°28'03"E
C18	118.53'	50.00'	92.66'	S17°59'05"E
C19	82.71'	50.00'	73.60'	S46°43'06"W
C20	14.63'	50.00'	14.58'	S09°02'50"E
C21	12.88'	15.00'	12.49'	S07°09'27"W
C22	14.93'	9.50'	13.44'	S76°44'30"W
C23	32.44'	177.50'	32.39'	N63°29'35"W
C24	61.84'	177.50'	61.52'	N78°42'26"W
C25	7.50'	177.50'	7.50'	N89°53'49"W
C26	12.12'	15.00'	11.80'	N67°57'51"W
C27	43.32'	46.50'	41.77'	N71°30'26"W
C28	68.11'	46.50'	62.18'	S39°50'56"W
C29	36.76'	46.51'	35.81'	S24°45'07"E
C30	12.12'	15.00'	11.80'	S24°15'06"E
C31	14.93'	9.50'	13.44'	S43°53'29"W
C32	14.93'	9.50'	13.44'	S13°15'30"E
C33	15.93'	9.50'	14.13'	N43°05'29"W
C34	14.93'	9.51'	13.44'	N43°53'29"E
C35	14.90'	9.50'	13.42'	N46°11'39"W
C36	14.93'	9.50'	13.44'	S43°53'33"W
C37	27.48'	177.50'	27.45'	S03°19'37"E
C38	13.58'	9.50'	12.44'	S33°07'35"E
C39	36.55'	122.50'	36.42'	S82°33'41"E
C40	34.83'	122.50'	34.71'	S66°24'10"E
C41	35.41'	122.50'	35.29'	S82°49'38"E
C42	14.93'	9.50'	13.44'	N43°53'32"E
C43	14.93'	9.50'	13.44'	N46°06'31"W
C44	15.27'	177.50'	15.26'	N88°38'44"W
C45	37.70'	177.50'	37.63'	N80°05'54"W
C46	12.96'	10.00'	12.08'	S68°51'50"W
C47	45.26'	1659.94'	45.26'	N04°13'02"E

LOT CHART

LOT	SQ. FT.	ACRES
1	9109	0.209
2	6600	0.152
3	6600	0.152
4	6600	0.152
5	6600	0.152
6	6600	0.152
7	7736	0.178
8	6753	0.155
9	6614	0.152
10	7542	0.173
11	6325	0.145
12	6100	0.140
13	6090	0.140
14	6060	0.139
15	6067	0.139
16	6142	0.141
17	7758	0.178
18	8432	0.194
19	7257	0.167
20	8245	0.189
21	8811	0.202
22	9090	0.209
23	9507	0.218

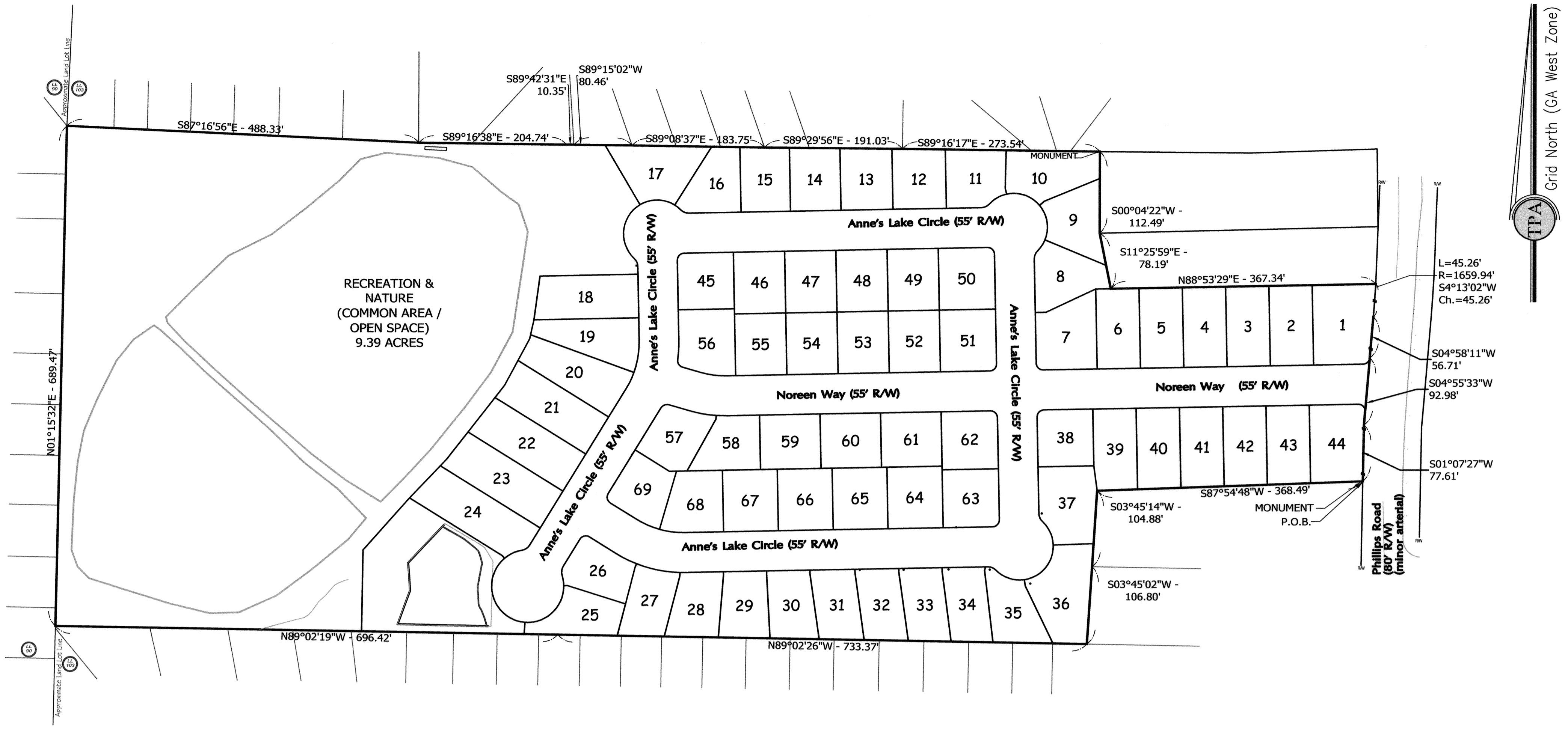
LOT CHART

LOT	SQ. FT.	ACRES
24	9889	0.227
25	6020	0.138
26	6009	0.138
27	6001	0.138
28	6001	0.138
29	6000	0.138
30	6001	0.138
31	6001	0.138
32	6001	0.138
33	6000	0.138
34	6003	0.138
35	6187	0.142
36	9340	0.214
37	7975	0.183
38	6047	0.139
39	6671	0.153
40	6678	0.153
41	6616	0.152
42	6555	0.150
43	6493	0.149
44	7980	0.183
45	6030	0.138
46	6034	0.139

LOT CHART

LOT	SQ. FT.	ACRES
47	6034	0.139
48	6034	0.139
49	6034	0.139
50	6592	0.151
51	6592	0.151
52	6034	0.139
53	6034	0.139
54	6034	0.139
55	6034	0.139
56	6850	0.157
57	6343	0.146
58	6004	0.138
59	6290	0.144
60	6290	0.144
61	6292	0.144
62	6219	0.143
63	6218	0.143
64	6497	0.149
65	6459	0.148
66	6459	0.148
67	6459	0.148
68	6479	0.149
69	6124	0.141

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CENTERLINE LINE AND CURVE TABLE

LINE #/CURVE #	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION	DISTANCE	BEARING
CL1						514.99	N88°53'29"E
CL2						401.84	N88°53'29"E
CL3	150.000'	44.75'	17°05'40"	44.59'	S82°33'41"E	44.59'	S82°33'41"E
CL4						61.28	S74°00'50"E
CL5	150.000'	55.01'	21°00'41"	54.70'	N09°23'53"E	54.70'	N9°23'53"E
CL6						109.58	N1°06'27"W
CL7	37.000'	58.12'	90°00'00"	52.33'	S43°53'33"W	52.33'	S43°53'33"W
CL8						420.52	S88°53'33"W
CL9	37.000'	58.12'	89°59'57"	52.33'	N46°06'29"W	52.33'	N46°06'29"W
CL10						187.99	N1°06'31"W
CL11						177.99	N1°06'31"W
CL12	37.000'	58.12'	90°00'00"	52.33'	N43°53'32"E	52.33'	N43°53'32"E
CL13						426.75	N88°53'34"E
CL14	150.000'	86.00'	32°50'56"	84.83'	S74°40'58"E	84.83'	S74°40'58"E
CL15						79.66	N68°15'30"W
CL16						130.18	N31°44'30"E
CL17						172.41	N31°44'30"E
CL18	150.000'	30.99'	11°50'17"	30.94'	N25°49'22"E	30.94'	N25°49'22"E

Line Table

Line #	Direction	Length
L1	S21°16'19"W	5.00'
L2	N1°18'48"E	5.00'
L3	S1°06'26"E	5.00'
L4	S1°06'26"E	5.00'
L5	S1°06'26"E	5.00'
L6	S1°06'26"E	5.00'
L7	S1°06'26"E	5.00'
L8	S1°06'26"E	5.00'
L9	S13°30'55"W	5.17'
L10	S8°11'36"E	8.50'
L11	S3°49'03"W	5.00'
L12	S40°04'28"E	5.00'
L13	N88°53'29"E	15.00'
L14	N49°49'49"E	8.50'
L15	N12°40'15"W	8.50'
L16	N89°19'54"E	5.00'
L17	S4°06'18"W	16.22'

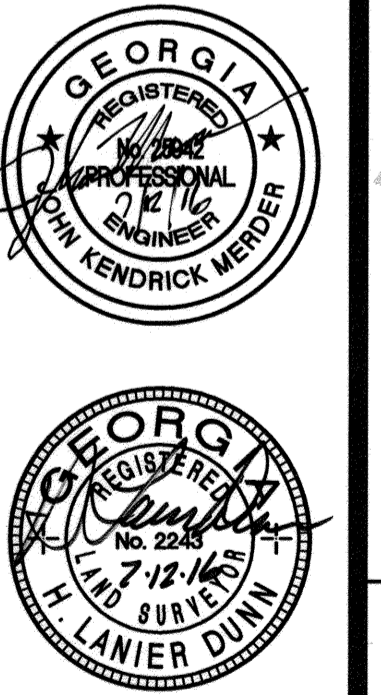
Asbuilt Storm Pipe Chart

Pipe Name	Start Strc.	End Strc.	Size	Type	Length	Slope
A1-A2	A1	A2	36"	RCP	38.41	2.53%
B1-B2	B1	B2	30"	RCP	43.39	3.83%
B2-B3	B2	B3	30"	RCP	197.40	0.91%
B3-B4	B3	B4	18"	RCP	169.36	2.14%
B3-D1	D1	B3	18"	RCP	31.68	4.92%
B4-B5	B4	B4	18"	RCP	31.15	0.71%
B5-B6	B5	B6	18"	CMP	175.86	0.93%
B5-C1	C1	B5	18"	CMP	358.97	7.28%
B6-B7	B6	B7	18"	CMP	152.38	6.20%
B6-B10	B6	B10	18"	RCP	33.30	1.26%
B7-B8	B7	B8	18"	CMP	224.70	6.38%
B7-B13	B7	B13	18"	RCP	30.89	1.33%
B8-B9	B8	B9	18"	CMP	31.12	1.83%
B10-B11	B11	B10	18"	RCP	38.04	12.17%
B10-B12	B10	B12	18"	RCP	123.88	0.81%
C1-C2	C2	C1	18"	RCP	337.71	5.00%
C1-C4	C4	C1	18"	RCP	30.76	1.69%
C2-C3	C3	C2	18"	RCP	30.82	1.04%
C2-C5	C5	C2	18"	CMP	62.73	1.07%
D1-D2	D1	D2	18"	CMP	88.42	1.00%
D2-D3	D2	D3	18"	CMP	330.27	3.49%
D2-D6	D2	D6	18"	CMP	95.97	0.96%
D2-D7	D2	D7	18"	RCP	30.29	2.38%
D3-D4	D3	D4	18"	RCP	279.33	3.97%
D3-D8	D3	D8	18"	CMP	30.55	1.41%
D4-D5	D4	D5	18"	CMP	76.18	2.52%
D4-D9	D4	D9	18"	CMP	49.01	0.45%

Asbuilt Storm Structure Table

Structure	Top Elev.	Invert Elevations
A1	831.62	A1-A2 - 827.79
A2	838.96	A1-A2 - 828.76
B1	833.82	B1-B2 - 830.53
B2	846.69	B1-B2 - 832.19
B3	850.52	B2-B3 - 834.38
B4	853.54	B2-B3 - 834.38
B5	853.35	B4-B5 - 838.43
B6	850.73	B5-B6 - 840.07
B7	854.41	B6-B7 - 849.79
B8	868.56	B7-B8 - 864.16
B9	868.68	B8-B9 - 864.73
B10	850.97	B8-B10 - 840.31
B11	849.64	B10-B11 - 845.54
B12	846.25	B10-B12 - 841.83
B13	854.55	B7-B13 - 850.24
C1	869.37	C1-C2 - 864.30
C2	885.98	C2-C3 - 881.36
C3	885.94	C2-C3 - 881.36
C4	869.17	C1-C4 - 864.77
C5	884.03	C2-C5 - 882.03
D1	850.45	B3-D1 - 837.56
D2	848.65	D1-D2 - 837.89
D3	855.67	D1-D2 - 838.90
D4	868.96	D2-D3 - 838.75
D5	869.81	D2-D3 - 850.29
D6	847.63	D3-D4 - 861.39
D7	848.69	D4-D5 - 861.44
D8	855.86	D4-D5 - 851.52
D9	866.93	D3-D4 - 861.39

Final Plat - Overall Site Plan



Philip's Pond

LAND LOT 03, 16th DISTRICT, DEKALB COUNTY, GEORGIA

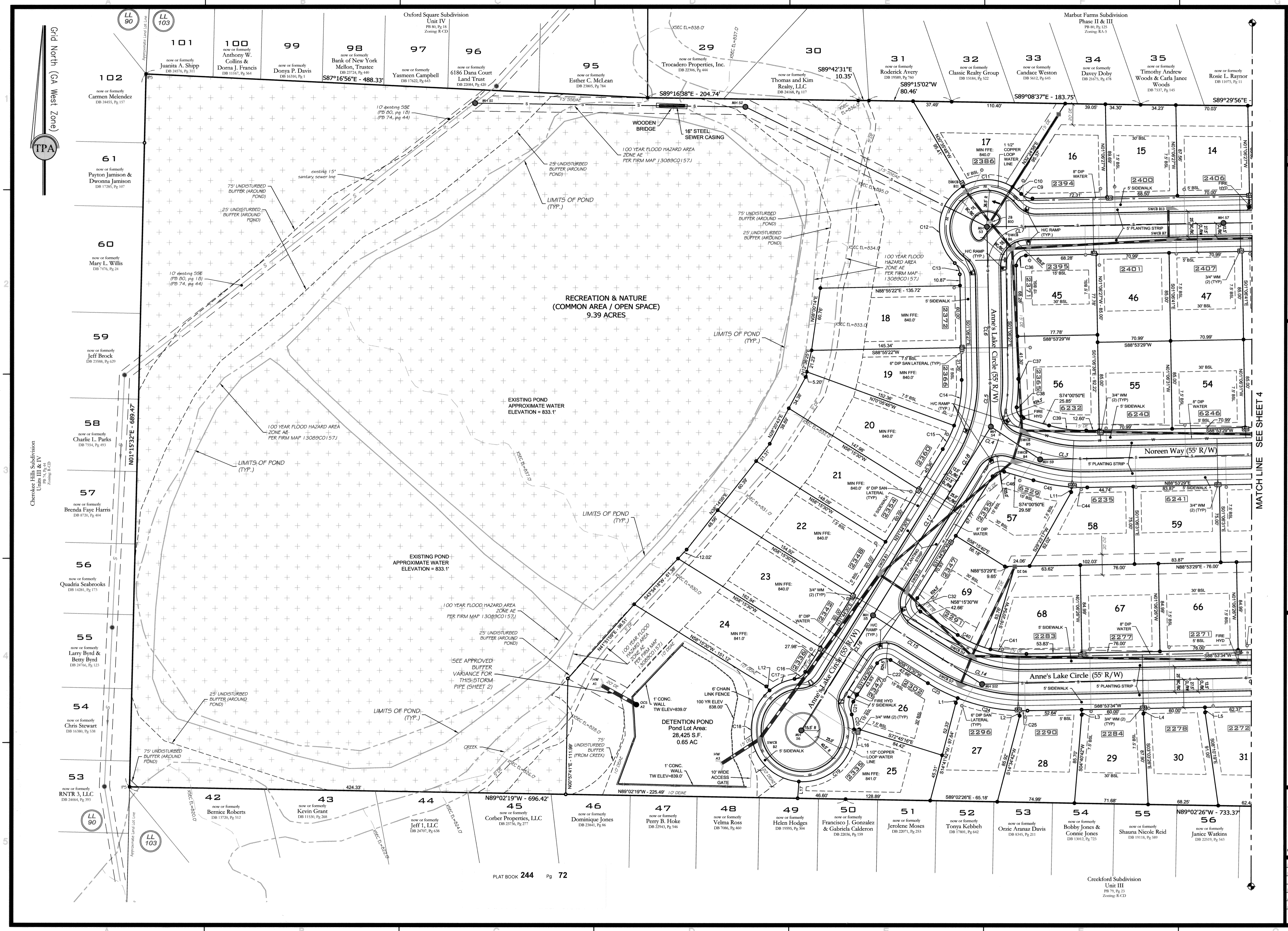
AP# 20222

For The Firm
Travis Pruitt & Associates, Inc.

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DATE: 7/22/15
FIELD DATE: 6/11/15
SCALE: 1" = 100'
LSV: 150202.265 FP.dwg
JN: 150202.265 FP.dwg
FN: 159-D-041

Sheet No. 3 of 5



Grid North (GA West Zone)
TPA

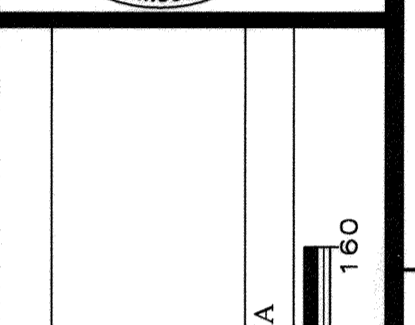
Cherokee Hills Subdivision
Units III & IV
PB 79, Pg. 20
Zoning: R-CD

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-6759
www.travispruit.com

Travis Pruitt & Associates, Inc.
REGISTERED PROFESSIONAL ENGINEER
LANDSCAPE ARCHITECT

Contact Person: John Meador
Certificate of Authorization Number: 613

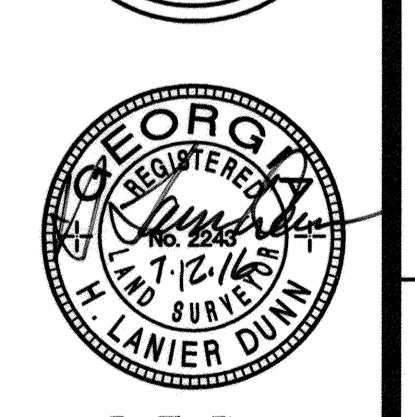


Final Plat
Philips Pond
AP# 20222

LAND LOT 103, 16th DISTRICT, DEKALB COUNTY, GEORGIA

GRAPHIC SCALE
0 40 80 120 160
IN FEET

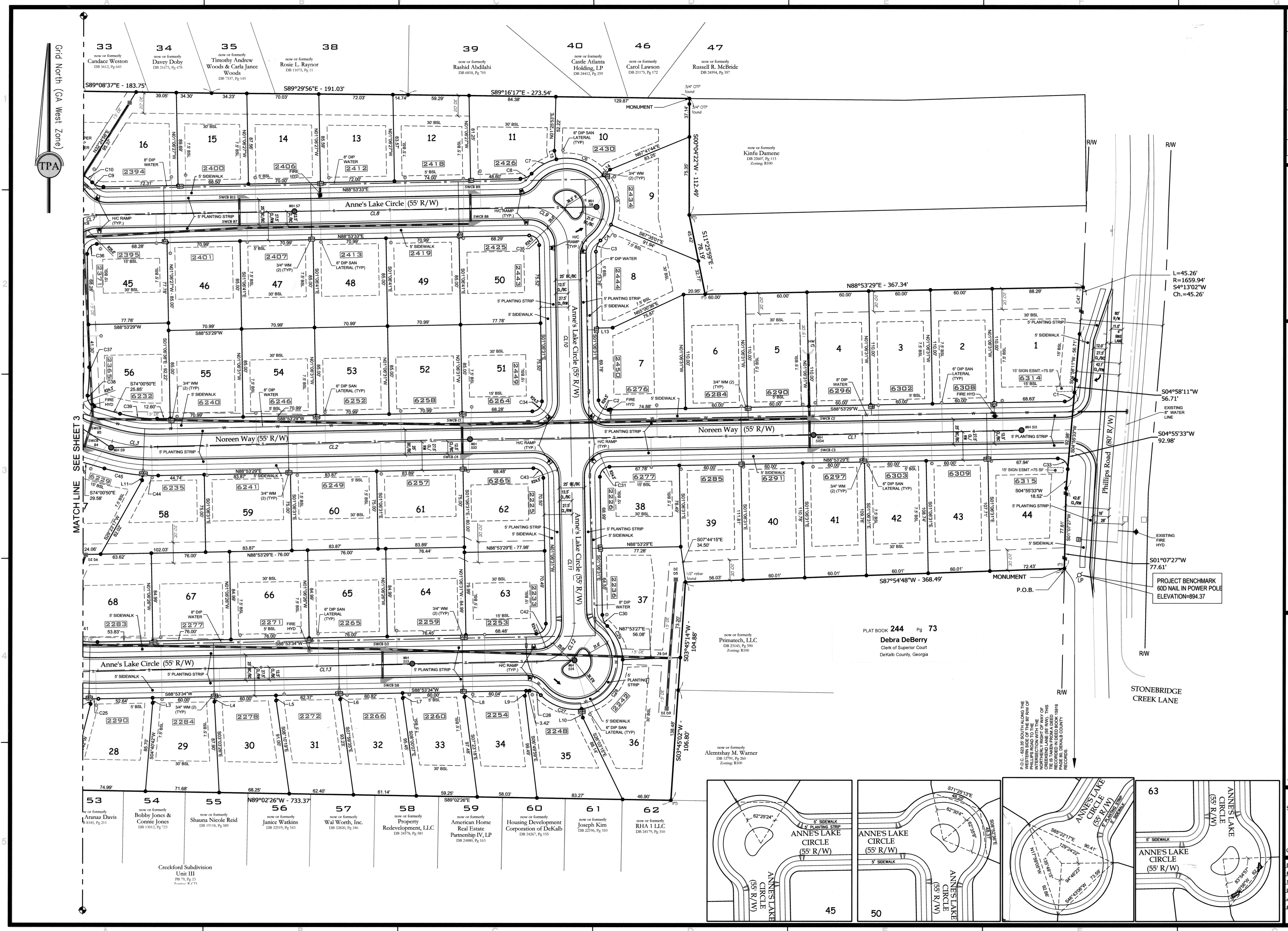
MATCH LINE SEE SHEET 4



For The Firm
Travis Pruitt & Associates, Inc.

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DATE: 7/22/15
FIELD DATE: 6/11/15
SCALE: 1" = 40'
LSV: 150202.265 FP.dwg
JN: 150202.265 FP.dwg
FN: 159-D-041



Grid North (GA West Zone)
TPA

MATCH LINE SEE SHEET 3

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

REVISIONS

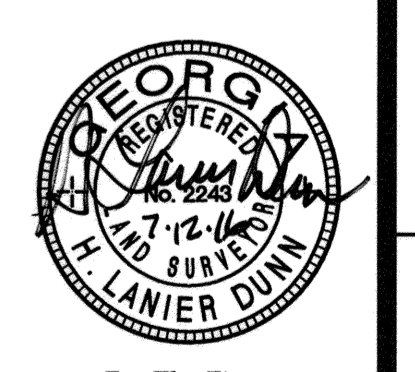
4317 Park Drive, Suite 400
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Travis Pruitt & Associates, Inc.
REGISTERED PROFESSIONAL ENGINEER
LANDSCAPE ARCHITECT

Contact Person: John Merder
Certificate of Authorization Number 613

Final Plat
Philips Pond
AP# 20222
LAND LOT 103, 16th DISTRICT, DEKALB COUNTY, GEORGIA

GRAPHIC SCALE
0 60 120 180
IN FEET



For The Firm
Travis Pruitt & Associates, Inc.

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DATE: 7/22/15
FIELD DATE: 6-11-15
SCALE: 1" = 40'
LSV: 150202.265 FP.DWG
JN: 150202.265 FP.DWG
EN: 159-D-041
Sheet No. 5 of 5

PLAT BOOK 244 Pg 73
Debra DeBerry
Clerk of Superior Court
DeKalb County, Georgia

